



NORTH AREA COMMITTEE



AGENDA

To: City Councillors: Pitt (Chair), Tunnacliffe (Vice-Chair), Abbott, Boyce, Bird, Brierley, Gawthrope, Kerr, O'Reilly, Price, Todd-Jones and Ward

County Councillors: Manning, Onasanya, Sales and Scutt

Dispatched: Wednesday, 12 March 2014

Date: Thursday, 20 March 2014

Time: 6.30 pm

Venue: Shirley Primary School, Nuffield Road, Cambridge CB4 1TF

Contact: Toni Birkin

Direct Dial: 01223 457013

PLANNING ITEMS

1 APOLOGIES FOR ABSENCE

2 DECLARATIONS OF INTEREST (PLANNING)

Members of the committee are asked to declare any interests in the items on the agenda. In the case of any doubt, the advice of the Head of Legal Services should be sought **before the meeting**.

3 MINUTES (PLANNING) (*Pages 7 - 8*)

4 PLANNING ITEMS

The applications for planning permission listed below require determination. A report is attached with a plan showing the location of the relevant site. Detailed plans relating to the applications will be displayed at the meeting.

Planning Items

- 5 **13/1720/FUL BROADMEADOWS MANHATTAN DRIVE
CAMBRIDGE CAMBRIDGESHIRE CB4 1JS** (*Pages 19 - 60*)

- 6 **13/1770/FUL -CHESTERTON HOUSE CHURCH STREET
CAMBRIDGE, CAMBRIDGESHIRE CB4 1DT** (*Pages 61 -
102*)

- 7 **13/1860/FUL - RECREATION GROUND NUNS WAY
CAMBRIDGE CAMBRIDGESHIRE** (*Pages 103 - 114*)

Meeting Information

Public Speaking on Planning Items

Area Committees consider planning applications and related matters. On very occasions some meetings may have parts, which will be closed to the public, but the reasons for excluding the press and public will be given.

Members of the public who want to speak about an application on the agenda for this meeting may do so, if they have submitted a written representation within the consultation period relating to the application and notified the Committee Manager that they wish to speak by **12.00 noon on the working day before the meeting.**

Public speakers will not be allowed to circulate any additional written information to their speaking notes or any other drawings or other visual material in support of their case that has not been verified by officers and that is not already on public file.

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<https://www.cambridge.gov.uk/speaking-at-committee-meetings>

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Representations on Planning Applications

Public representations on a planning application should be made in writing (by e-mail or letter, in both cases stating your full postal address), within the deadline set for comments on that application. You are therefore strongly urged to submit your representations within this deadline.

Submission of late information after the officer's report has been published is to be avoided. A written representation submitted to the Environment Department by a member of the public after publication of the officer's report will only be considered if it is from someone who has already made written representations in time for inclusion within the officer's report.

Any public representation received by the Department after 12 noon two working days before the relevant Committee meeting (e.g. by 12.00 noon on Monday before a Wednesday meeting; by 12.00 noon on Tuesday before a Thursday meeting) will not be considered.

The same deadline will also apply to the receipt by the Department of additional information submitted by an applicant or an agent in connection with the relevant item on the Committee agenda (including letters, e-mails, reports, drawings and all other visual material), unless specifically requested by planning officers to help decision- making.

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Queries reports

on If you have a question or query regarding a committee report please contact the officer listed at the end of relevant report or Democratic Services on 01223 457013 or democratic.services@cambridge.gov.uk.

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NORTH AREA COMMITTEE

6 February 2014

6.30 - 6.36 pm

Present: Councillors Pitt (Chair), Tunnacliffe (Vice-Chair), Boyce, Bird, Brierley, Gawthrope, Kerr, O'Reilly, Price, Todd-Jones and Ward.

County Councillors: Manning and Onasanya

Officers:

Principal Planning Officer: Toby Williams

Committee Manager: Toni Birkin

FOR THE INFORMATION OF THE COUNCIL

14/1/NAC Apologies for Absence

No apologies were received.

14/2/NAC Declarations of Interest (Planning)

There were no declarations of interest.

14/3/NAC Minutes (Planning)

The minutes of the meeting of the 21st November 2013 were approved and signed as a correct record.

14/4/NAC Planning Items

4a 13/1527/FUL - 53 Ramsden Square

The Committee received an application for full planning permission.

The application sought approval for the erecting of a two storey side extension to 53 Ramsden Square to form one 1-bed and one 2-bed maisonette.

The Committee agreed an additional condition was needed regarding considerate contractors obligations.

Resolved (by 10 votes to 0) to grant the application for planning permission in accordance with officer recommendation, for the reasons set out in the

officer report, subject to the conditions recommended by the officers and subject to an additional condition:

No development shall take place until arrangements for contractors' parking and deliveries have been submitted to and approved in writing by the local planning authority. The approved arrangements, which shall preclude vehicles parking or waiting on the grass verges, and the storage of materials on the verges, shall be adhered to throughout the development.

Reason: To protect visual amenity, and the residential amenity of neighbouring occupiers, and to avoid damage to the highway. (Cambridge Local Plan 2006 policies 3/4 and 8/2)

The meeting ended at 6.36 pm

CHAIR

APPENDIX 1 – DEVELOPMENT PLAN POLICY, PLANNING GUIDANCE AND MATERIAL CONSIDERATIONS

1.0 Central Government Advice

1.1 National Planning Policy Framework (March 2012) – sets out the Government’s economic, environmental and social planning policies for England. These policies articulate the Government’s vision of sustainable development, which should be interpreted and applied locally to meet local aspirations.

1.2 Circular 11/95 – The Use of Conditions in Planning Permissions: Advises that conditions should be necessary, relevant to planning, relevant to the development permitted, enforceable, precise and reasonable in all other respects.

1.3 Community Infrastructure Levy Regulations 2010 – places a statutory requirement on the local authority that where planning permission is dependent upon a planning obligation the obligation must pass the following tests:

(a) necessary to make the development acceptable in planning terms;

(b) directly related to the development; and

(c) fairly and reasonably related in scale and kind to the development.

2.0 Cambridgeshire and Peterborough Structure Plan 2003

Planning Obligation Related Policies

P6/1 Development-related Provision

P9/8 Infrastructure Provision

P9/9 Cambridge Sub-Region Transport Strategy

3.0 Cambridge Local Plan 2006

3/1 Sustainable development

3/3 Setting of the City

3/4 Responding to context

3/6 Ensuring coordinated development

3/7 Creating successful places

3/9 Watercourses and other bodies of water

3/10 Subdivision of existing plots

3/11 The design of external spaces

3/12 The design of new buildings

3/13 Tall buildings and the skyline

3/14 Extending buildings

3/15 Shopfronts and signage

4/1 Green Belt
4/2 Protection of open space
4/3 Safeguarding features of amenity or nature conservation value
4/4 Trees
4/6 Protection of sites of local nature conservation importance
4/8 Local Biodiversity Action Plans
4/9 Scheduled Ancient Monuments/Archaeological Areas
4/10 Listed Buildings
4/11 Conservation Areas
4/12 Buildings of Local Interest
4/13 Pollution and amenity
4/14 Air Quality Management Areas
4/15 Lighting

5/1 Housing provision
5/2 Conversion of large properties
5/3 Housing lost to other uses
5/4 Loss of housing
5/5 Meeting housing needs
5/7 Supported housing/Housing in multiple occupation
5/8 Travellers
5/9 Housing for people with disabilities
5/10 Dwelling mix
5/11 Protection of community facilities
5/12 New community facilities
5/15 Addenbrookes

6/1 Protection of leisure facilities
6/2 New leisure facilities
6/3 Tourist accommodation
6/4 Visitor attractions
6/6 Change of use in the City Centre
6/7 Shopping development and change of use in the District and Local Centres
6/8 Convenience shopping
6/9 Retail warehouses
6/10 Food and drink outlets.

7/1 Employment provision
7/2 Selective management of the Economy
7/3 Protection of Industrial and Storage Space
7/4 Promotion of cluster development
7/5 Faculty development in the Central Area, University of Cambridge
7/6 West Cambridge, South of Madingley Road
7/7 College and University of Cambridge Staff and Student Housing
7/8 Anglia Ruskin University East Road Campus
7/9 Student hostels for Anglia Ruskin University
7/10 Speculative Student Hostel Accommodation
7/11 Language Schools

8/1 Spatial location of development
8/2 Transport impact
8/4 Walking and Cycling accessibility
8/6 Cycle parking
8/8 Land for Public Transport
8/9 Commercial vehicles and servicing
8/10 Off-street car parking
8/11 New roads
8/12 Cambridge Airport
8/13 Cambridge Airport Safety Zone
8/14 Telecommunications development
8/15 Mullard Radio Astronomy Observatory, Lords Bridge
8/16 Renewable energy in major new developments
8/17 Renewable energy
8/18 Water, sewerage and drainage infrastructure

9/1 Further policy guidance for the Development of Areas of Major Change
9/2 Phasing of Areas of Major Change
9/3 Development in Urban Extensions
9/5 Southern Fringe
9/6 Northern Fringe
9/7 Land between Madingley Road and Huntingdon Road
9/8 Land between Huntingdon Road and Histon Road
9/9 Station Area

10/1 Infrastructure improvements

Planning Obligation Related Policies

3/7 Creating successful places
3/8 Open space and recreation provision through new development
3/12 The Design of New Buildings (*waste and recycling*)
4/2 Protection of open space
5/13 Community facilities in Areas of Major Change
5/14 Provision of community facilities through new development
6/2 New leisure facilities
8/3 Mitigating measures (*transport*)
8/5 Pedestrian and cycle network
8/7 Public transport accessibility
9/2 Phasing of Areas of Major Change
9/3 Development in Urban Extensions
9/5 Southern Fringe
9/6 Northern Fringe
9/8 Land between Huntingdon Road and Histon Road
9/9 Station Area
10/1 Infrastructure improvements (*transport, public open space, recreational and community facilities, waste recycling, public realm, public art, environmental aspects*)

4.0 **Supplementary Planning Documents**

- 4.1 **Cambridge City Council (May 2007) – Sustainable Design and Construction:** Sets out essential and recommended design considerations of relevance to sustainable design and construction. Applicants for major developments are required to submit a sustainability checklist along with a corresponding sustainability statement that should set out information indicated in the checklist. Essential design considerations relate directly to specific policies in the Cambridge Local Plan 2006. Recommended considerations are ones that the council would like to see in major developments. Essential design considerations are urban design, transport, movement and accessibility, sustainable drainage (urban extensions), energy, recycling and waste facilities, biodiversity and pollution. Recommended design considerations are climate change adaptation, water, materials and construction waste and historic environment.
- 4.2 **Cambridgeshire and Peterborough Waste Partnership (RECAP): Waste Management Design Guide Supplementary Planning Document (February 2012):** The Design Guide provides advice on the requirements for internal and external waste storage, collection and recycling in new residential and commercial developments. It provides advice on assessing planning applications and developer contributions.
- 4.3 **Cambridge City Council (January 2008) - Affordable Housing:** Gives advice on what is involved in providing affordable housing in Cambridge. Its objectives are to facilitate the delivery of affordable housing to meet housing needs and to assist the creation and maintenance of sustainable, inclusive and mixed communities.
- 4.4 **Cambridge City Council (March 2010) – Planning Obligation Strategy:** provides a framework for securing the provision of new and/or improvements to existing infrastructure generated by the demands of new development. It also seeks to mitigate the adverse impacts of development and addresses the needs identified to accommodate the projected growth of Cambridge. The SPD addresses issues including transport, open space and recreation, education and life-long learning, community facilities, waste and other potential development-specific requirements.
- 4.5 **Cambridge City Council (January 2010) - Public Art:** This SPD aims to guide the City Council in creating and providing public art in Cambridge by setting out clear objectives on public art, a clarification of policies, and the means of implementation. It covers public art delivered through the planning process, principally Section 106 Agreements (S106), the commissioning of public art using the S106 Public Art Initiative, and outlines public art policy guidance.
- 4.6 **Old Press/Mill Lane Supplementary Planning Document (January 2010)** Guidance on the redevelopment of the Old Press/Mill Lane site.

Eastern Gate Supplementary Planning Document (October 2011)

Guidance on the redevelopment of the Eastern Gate site. The purpose of this development framework (SPD) is threefold:

- To articulate a clear vision about the future of the Eastern Gate area;
- To establish a development framework to co-ordinate redevelopment within the area and guide decisions (by the Council and others); and
- To identify a series of key projects, to attract and guide investment (by the Council and others) within the area.

5.0 Material Considerations

Central Government Guidance

5.1 Letter from Secretary of State for Communities and Local Government (27 May 2010)

The coalition government is committed to rapidly abolish Regional Strategies and return decision making powers on housing and planning to local councils. Decisions on housing supply (including the provision of travellers sites) will rest with Local Planning Authorities without the framework of regional numbers and plans.

5.2 Written Ministerial Statement: Planning for Growth (23 March 2011)

Includes the following statement:

When deciding whether to grant planning permission, local planning authorities should support enterprise and facilitate housing, economic and other forms of sustainable development. Where relevant and consistent with their statutory obligations they should therefore:

- (i) consider fully the importance of national planning policies aimed at fostering economic growth and employment, given the need to ensure a return to robust growth after the recent recession;
- (ii) take into account the need to maintain a flexible and responsive supply of land for key sectors, including housing;
- (iii) consider the range of likely economic, environmental and social benefits of proposals; including long term or indirect benefits such as increased consumer choice, more viable communities and more robust local economies (which may, where relevant, include matters such as job creation and business productivity);
- (iv) be sensitive to the fact that local economies are subject to change and so take a positive approach to development where new economic data suggest that prior assessments of needs are no longer up-to-date;

(v) ensure that they do not impose unnecessary burdens on development.

In determining planning applications, local planning authorities are obliged to have regard to all relevant considerations. They should ensure that they give appropriate weight to the need to support economic recovery, that applications that secure sustainable growth are treated favourably (consistent with policy in PPS4), and that they can give clear reasons for their decisions.

5.3 City Wide Guidance

Arboricultural Strategy (2004) - City-wide arboricultural strategy.

Biodiversity Checklist for Land Use Planners in Cambridgeshire and Peterborough (March 2001) - This document aims to aid strategic and development control planners when considering biodiversity in both policy development and dealing with planning proposals.

Cambridge Landscape and Character Assessment (2003) – An analysis of the landscape and character of Cambridge.

Cambridge City Nature Conservation Strategy (2006) – Guidance on habitats should be conserved and enhanced, how this should be carried out and how this relates to Biodiversity Action Plans.

Criteria for the Designation of Wildlife Sites (2005) – Sets out the criteria for the designation of Wildlife Sites.

Cambridge City Wildlife Sites Register (2005) – Details of the City and County Wildlife Sites.

Cambridge and South Cambridgeshire Strategic Flood Risk Assessment (November 2010) - a tool for planning authorities to identify and evaluate the extent and nature of flood risk in their area and its implications for land use planning.

Strategic Flood Risk Assessment (2005) – Study assessing the risk of flooding in Cambridge.

Cambridge and Milton Surface Water Management Plan (2011) – A SWMP outlines the preferred long term strategy for the management of surface water. Alongside the SFRA they are the starting point for local flood risk management.

Cambridge City Council (2011) - Open Space and Recreation Strategy: Gives guidance on the provision of open space and recreation facilities through development. It sets out to ensure that open space in Cambridge meets the needs of all who live, work, study in or visit the city and provides a satisfactory environment for nature and enhances the local townscape, complementing the built environment.

The strategy:

- sets out the protection of existing open spaces;
- promotes the improvement of and creation of new facilities on existing open spaces;
- sets out the standards for open space and sports provision in and through new development;
- supports the implementation of Section 106 monies and future Community Infrastructure Levy monies

As this strategy suggests new standards, the Cambridge Local Plan 2006 standards will stand as the adopted standards for the time-being. However, the strategy's new standards will form part of the evidence base for the review of the Local Plan

Balanced and Mixed Communities – A Good Practice Guide (2006) – Produced by Cambridgeshire Horizons to assist the implementation of the Areas of Major Change.

Green Infrastructure Strategy for the Cambridgeshire Sub-Region (2006) - Produced by Cambridgeshire Horizons to assist the implementation of the Areas of Major Change and as a material consideration in the determination of planning applications and appeals.

A Major Sports Facilities Strategy for the Cambridge Sub-Region (2006) - Produced by Cambridgeshire Horizons to assist the implementation of the Areas of Major Change.

Cambridge Sub-Region Culture and Arts Strategy (2006) - Produced by Cambridgeshire Horizons to assist the implementation of the Areas of Major Change.

Cambridgeshire Quality Charter for Growth (2008) – Sets out the core principles of the level of quality to be expected in new developments in the Cambridge Sub-Region

Cambridge City Council - Guidance for the application of Policy 3/13 (Tall Buildings and the Skyline) of the Cambridge Local Plan (2006) (2012) - sets out in more detail how existing council policy can be applied to proposals for tall buildings or those of significant massing in the city.

Cambridge Walking and Cycling Strategy (2002) – A walking and cycling strategy for Cambridge.

Protection and Funding of Routes for the Future Expansion of the City Cycle Network (2004) – Guidance on how development can help achieve the implementation of the cycle network.

Cambridgeshire Design Guide For Streets and Public Realm (2007): The purpose of the Design Guide is to set out the key principles and aspirations that should underpin the detailed discussions about the design of streets and public spaces that will be taking place on a site-by-site basis.

Cycle Parking Guide for New Residential Developments (2010) – Gives guidance on the nature and layout of cycle parking, and other security measures, to be provided as a consequence of new residential development.

Air Quality in Cambridge – Developers Guide (2008) - Provides information on the way in which air quality and air pollution issues will be dealt with through the development control system in Cambridge City. It compliments the Sustainable Design and Construction Supplementary Planning Document.

The Cambridge Shopfront Design Guide (1997) – Guidance on new shopfronts.

Roof Extensions Design Guide (2003) – Guidance on roof extensions.

Modelling the Costs of Affordable Housing (2006) – Toolkit to enable negotiations on affordable housing provision through planning proposals.

5.6 Area Guidelines

Cambridge City Council (2003)–Northern Corridor Area Transport Plan:
Cambridge City Council (2002)–Southern Corridor Area Transport Plan:
Cambridge City Council (2002)–Eastern Corridor Area Transport Plan:
Cambridge City Council (2003)–Western Corridor Area Transport Plan:
The purpose of the Plan is to identify new transport infrastructure and service provision that is needed to facilitate large-scale development and to identify a fair and robust means of calculating how individual development sites in the area should contribute towards a fulfilment of that transport infrastructure.

Buildings of Local Interest (2005) – A schedule of buildings of local interest and associated guidance.

Brooklands Avenue Conservation Area Appraisal (2002)
Cambridge Historic Core Conservation Area Appraisal (2006)
Storeys Way Conservation Area Appraisal (2008)
Chesterton and Ferry Lane Conservation Area Appraisal (2009)
Conduit Head Road Conservation Area Appraisal (2009)
De Freville Conservation Area Appraisal (2009)
Kite Area Conservation Area Appraisal (1996)
Newnham Croft Conservation Area Appraisal (1999)
Southacre Conservation Area Appraisal (2000)
Trumpington Conservation Area Appraisal (2010)
Mill Road Area Conservation Area Appraisal (2011)

West Cambridge Conservation Area Appraisal (2011)

Guidance relating to development and the Conservation Area including a review of the boundaries.

Jesus Green Conservation Plan (1998)

Parkers Piece Conservation Plan (2001)

Sheeps Green/Coe Fen Conservation Plan (2001)

Christs Pieces/New Square Conservation Plan (2001)

Historic open space guidance.

Hills Road Suburbs and Approaches Study (March 2012)

Long Road Suburbs and Approaches Study (March 2012)

Barton Road Suburbs and Approaches Study (March 2009)

Huntingdon Road Suburbs and Approaches Study (March 2009)

Madingley Road Suburbs and Approaches Study (March 2009)

Newmarket Road Suburbs and Approaches Study (October 2011)

Provide assessments of local distinctiveness which can be used as a basis when considering planning proposals

Station Area Development Framework (2004) – Sets out a vision and Planning Framework for the development of a high density mixed use area including new transport interchange and includes the **Station Area Conservation Appraisal**.

Southern Fringe Area Development Framework (2006) – Guidance which will help to direct the future planning of development in the Southern Fringe.

West Cambridge Masterplan Design Guidelines and Legal Agreement (1999) – Sets out how the West Cambridge site should be developed.

Mitcham's Corner Area Strategic Planning and Development Brief (2003) – Guidance on the development and improvement of Mitcham's Corner.

Mill Road Development Brief (Robert Sayle Warehouse and Co-Op site) (2007) – Development Brief for Proposals Site 7.12 in the Cambridge Local Plan (2006)

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Application Number	13/1720/FUL	Agenda Item	
Date Received	28th November 2013	Officer	Mary Marston
Target Date	23rd January 2014		
Ward	West Chesterton		
Site	Broadmeadows Manhattan Drive Cambridge Cambridgeshire CB4 1JS		
Proposal	Provision of an additional storey to the existing 3 storey building to provide 2 x one bedroom and 6 x studio flats. The installation of on-site renewable energy technology in the form of air to water source heat pumps on the new roof to the building. The installation of 12 no. new bicycle spaces and provision of a roof to cover 14 no. existing bicycle spaces.		
Applicant	Mayflower Manhattan Ltd Mayflower House Manhattan Drive Cambridge CB4 1JT		

SUMMARY	<p>The development accords with the Development Plan for the following reasons:</p> <p>The proposed development will contribute to meeting housing need and provides high quality accommodation for single people and couples for which there is high demand.</p> <p>The design of the additional storey has clearly responded to the local context and will not harm the character and appearance of the Conservation Area</p> <p>The proposed development will not give rise to demonstrable harm in terms of overlooking, loss of privacy, or traffic generation.</p>
RECOMMENDATION	APPROVAL

1.0 SITE DESCRIPTION/AREA CONTEXT

- 1.1 Broadmeadows is a flat-roofed three storey block of flats built in 1988. It is one of five blocks of flats comprising the Midsummer Meadows development, which is accessed via Manhattan Drive and occupies a 1.6ha site between Lovers Walk to the north and west and Elizabeth Way to the east. To the south, the site boundary is located to the rear of properties on the north side of Acrefield Drive. All five buildings are of brick construction.
- 1.2 The site is not in a Conservation Area but is visible from the rear of properties on the east side of Belvoir Road, which is situated within the De Freville Conservation Area. It falls within the controlled parking zone.
- 1.3 There are no trees protected by Tree Preservation Orders but there are several mature trees present on the site. The site falls outside the controlled parking zone, but is within the floodplain.

2.0 THE PROPOSAL

- 2.1 The application seeks permission for the provision of an additional storey to the existing three storey building to form two x one bedroom and 6 x studio flats; the installation of on-site renewable energy technology in the form of air to water source heat pumps on the new roof to the building; and the installation of 12 new bicycle spaces and provision of a roof to cover 14 existing bicycle spaces.
- 2.2 The proposed additional cycle space provision will be located to the south of the access road and adjacent to the existing sub-station and gardeners shed. The existing cycle spaces to be covered are located to the rear of the apartment block and hard up to the boundary fence. There will be no additional provision for refuse storage.
- 2.3 The proposal to install air to water source heat pumps on the new roof would further raise the height of the proposed development to a maximum of 13.2m in those places where the plant is to be located (towards the northern and southern extremities of the roof).
- 2.4 It is proposed to construct the additional floor using lightweight materials faced with a matt finish bronze coloured metal panels

and is designed to complement and enhance the appearance of the building. The height to parapet would increase from about 9.1m to 12.5m, and the number of dwellings would increase from 18 to 26.

2.5 The largest openings are in the east elevation, but whilst larger than existing openings, the proposed picture planar windows will generally maintain the rhythm of windows in lower floors; in addition there will be access to four balconies with views across the estate. Window openings to the west elevation will also be floor to ceiling, and aligned with similar, smaller openings in the lower floors. The north and south elevations each include just one balcony, and windows will be narrower, respecting the width of existing windows in lower floors.

2.6 The application is accompanied by the following supporting information:

1. Design and Access Statement
2. Site layout and scaled floorplans to show existing and proposed units
3. External elevations and cross sections of existing and proposed
4. East, west, north and south context sections
5. Scaled drawings to show proposed refuse and bicycle storage
6. An arboricultural report
7. A flood risk assessment

2.7 The application is brought before Planning Committee because there have been six objections.

3.0 SITE HISTORY

Reference	Description	Outcome
C/85/0644	ERECTION OF 18 NO RESIDENTIAL FLATS, AND PROVISION OF ADDITIONAL PARKING SPACES.	Approved with conditions
C/94/0816	ERECTION OF 3 AND 4 STOREY BUILDING	Refused

COMPRISING OF 11 FLATS
WITH ASSOCIATED PARKING.

3.1 Pre-application advice was sought in June 2013. The response was supportive in principle and raised no significant concerns.

4.0 PUBLICITY

4.1 Advertisement:	No
Adjoining Owners:	Yes
Site Notice Displayed:	No

5.0 POLICY

5.1 See Appendix 1 for full details of Central Government Guidance, Cambridge Local Plan 2006 policies, Supplementary Planning Documents and Material Considerations.

5.2 Relevant Development Plan policies

PLAN	POLICY NUMBER
Cambridgeshire and Peterborough Minerals and Waste Plan (Development Plan Documents) July 2011	CS16
Cambridge Local Plan 2006	3/1 3/4 3/7 3/10 3/11 3/12 3/13 3/14 4/4 4/11 5/1 5/5 5/10 8/1 8/2 8/5 8/6 8/7 8/10 10/1

5.3 Relevant Central Government Guidance, Supplementary Planning Documents and Material Considerations

Central Government Guidance	National Planning Policy Framework March 2012 Circular 11/95
Supplementary Planning Documents	Sustainable Design and Construction Cambridgeshire and Peterborough Waste Partnership (RECAP) : Waste Management Design Guide Affordable Housing Planning Obligation Strategy

5.4 Status of Proposed Submission – Cambridge Local Plan

Planning applications should be determined in accordance with policies in the adopted Development Plan and advice set out in the NPPF. However, after consideration of adopted plans and the NPPF, policies in emerging plans can also be given some weight when determining applications. For Cambridge, therefore, the emerging revised Local Plan as published for consultation on 19 July 2013 can be taken into account, especially those policies where there are no or limited objections to it. However it is likely, in the vast majority of instances, that the adopted development plan and the NPPF will have considerably more weight than emerging policies in the revised Local Plan.

For the application considered in this report, the following policies/there are no policies (delete as appropriate) in the emerging Local Plan are of relevance:

6.0 CONSULTATIONS

Cambridgeshire County Council (Highways Development Management)

6.1 No additional car parking provision is made for the additional residential accommodation, however following implementation

of any Permission issued by the Planning Authority in regard to this proposal the residents of the new dwellings will not qualify for Residents' Permits of any kind within the existing Residents' Parking Schemes operating on surrounding streets (this should be brought to the attention of the applicant, and an appropriate informative added to any Permission that the Planning Authority is minded to issue with regard to this proposal).

Head of Refuse and Environment

- 6.2 The Environmental Health Officer has no objection to this application in principal, subject to the following comments and recommended conditions/informatives.

Environmental Quality

Construction/demolition pollution

- 6.3 Pollution from the demolition and construction phases has the potential to affect the amenity of surrounding properties if not controlled. The existing tenants in the block, especially the 2nd floor are likely to experience noise and vibration from the construction and a mitigation plan is required. In the interests of amenity, the standard construction/delivery noise/hours conditions are recommended.

Plant

- 6.4 The application indicates roof mounted air source heat pumps. Noise from the use of these units has the potential to harm local amenity if not controlled. A condition requiring a full plant noise assessment is therefore recommended to ensure the rating level (in accordance with BS4142:1997) from all plant and equipment, vents etc (collectively) associated with this application should be less than or equal to the existing background level (L90) at the boundary of the premises subject to this application and having regard to noise sensitive premises.

Head of Streets and Open Spaces (Tree Team)

- 6.5 The Tree Officer is satisfied with the proposed species, management and removal/replacement timings and provided

the proposal is conditioned has advised she has no further concerns regarding the proposed development.

7.0 REPRESENTATIONS

7.1 The owners/occupiers of the following addresses have made representations:

- 24 Belvoir Road
- 28 Belvoir Road
- 32 Belvoir Road
- 38 Belvoir Road
- 40 Belvoir Road
- 68 West Street

7.2 The representations can be summarised as follows:

Appearance of west facing elevation and impact on character of area

- The view of the brick wall of Broadmeadows facing residents of Belvoir Rd in one of the city's conservation areas should be as important as the frontage of the building within Broadmeadows;
- The extra storey on Broadmeadows will disturb the transition from taller buildings closer to Elizabeth Way bridge to the mainly two/three storey buildings in Belvoir Road and Manhattan Drive.
- The proposed building will dwarf the two-storey (with loft conversion) houses that line Belvoir Road on that side.
- It is important to recognise that the area is surrounded by trees which can be seen from within the Conservation Area;
- The tree-scape of the De Freville area was/is recognised in the Appraisal document of March 2009 as an attractive feature of the Conservation Area;
- Views to the east are cherished by the residents;
- The crowns of trees within Midsummer Meadows and to its east will be hidden by the extra height;
- The assertions in the design statement are misleading - the proposed additional storey will decrease the interest in the sky line and present a brutalist view out of the Conservation Area.

Overlooking and loss of privacy

- The proposed development to Broadmeadows adds rooms whose windows, larger than the rest of the windows in the block, will look directly into the bedrooms of the houses in Belvoir Rd, especially those along the southern end of the road, with high even numbers;
- We can see clearly into the rooms of Broadmeadows flats facing our road, and therefore they can look down into our bedrooms and garden;
- screening effect of existing trees becomes very limited for 2nd and 3rd storey levels - if the additional storey is to go ahead further mature trees of species appropriate to border the De Freville Conservation area, such as silver birches, limes or willows, should be planted along the southern half of the boundary fence with Lovers Walk so that in due course they soften the appearance of the brick wall that faces Belvoir Rd and so that we do not have to rely on the existing neglected pollarded willows, which have limited future lifetime.
- Judging by the regular practice on the Midsummer Meadows estate any trees planted are likely to be regularly and brutally pollarded will not afford Belvoir Road residents any degree of privacy;
- The Design and Access is inaccurate in describing the site boundary as 'enclosed' and planting 'well developed' as the existing trees do not adequately screen the existing building;
- The site plan shows five trees are present on the boundary and notes that one should be removed and two should be reduced in height;
- If the application is accepted we would ask that trees are planted to improve the view of the expanded Broadmeadows building and reduce overlooking into the bedrooms and gardens of Belvoir Road;
- The fourth floor should be of the same height as the existing floors, and that the windows be of the same (smaller) dimensions as those on lower floors (i.e., no balconies).

Access and parking

- Access to the Midsummer Meadows flats is via a single narrow central lane in Belvoir Rd. The narrow, acute-angled corner at the junction with Manhattan Drive, has limited visibility and is a safety hazard, with cars meeting head on in the middle of the road and further residential units in Midsummer Meadows would add to this road safety risk;

- The Midsummer Meadows estate has more than doubled in size since the first building in 1969, with the most recent addition on Bridgeacre in 2011;
- The design statement relies on an outdated assessment from 1996, which takes no account of the realities of 2013, including the designation of the De Freville Conservation Area.
- The plans make no allowance for car or motorbike parking for the eight new flats, only for bicycles and they will not be part of the residents parking scheme and Broadmeadows residents will not be allowed to park on Lovers Walk instead.

Other comments

- Object to installation of heat pumps as likely to cause a noise nuisance;
- The proposal will result in additional noise due to construction traffic and building work which could result in damage to parked cars on Belvoir Road;
- Belvoir Road is very narrow, and because of parked vehicles young children would be vulnerable to passing lorries and trucks.
- Construction noise will be an extreme inconvenience to neighbouring residents.
- We are concerned that the increase in heavy vehicles will damage the surface of neighbouring streets;
- Lovers Walk belongs half to Belvoir Road properties and half to Midsummer Meadows - if permission is granted we would ask you to demand guarantees that, once construction is finished, the Midsummer Meadows estate management will repair any damage to Lovers Walk/Manhattan Drive/Belvoir Road.
- If the application is accepted we would ask that any damage to Lovers Lane due to construction traffic is repaired once the work is completed and that residents are given a point of contact to raise any concerns over noise, traffic and other disruption caused by construction activity.

- There should be a permanent veto on any future upward developments of the Mayflower and Broadmeadows buildings/ further development of this site.

7.3 The Housing Partnership (London) Limited have submitted representations in support of the application, which are summarised as follows:

- The principle of providing additional homes Midsummer Meadows is supported;
- The application is one of design merit and will provide a coherent architectural statement;
- This is not a high density development and less than 35% of residents have a car, hence additional traffic generation will be barely noticeable;
- The implementation of the Residents Parking scheme has reduced traffic and the bell-mouth to the estate has benefitted from double yellow lines;
- This proposal will have no material impact on the amenities of the estate and will enhance the neighbourhood;
- If minded to approve, the council should impose a condition to prevent noise transfer from the heat pumps to neighbouring properties.

7.4 The above representations are a summary of the comments that have been received. Full details of the representations can be inspected on the application file.

8.0 ASSESSMENT

8.1 From the consultation responses and representations received and from my inspection of the site and the surroundings, I consider that the main issues are:

1. Principle of development
2. Context of site, design and external spaces
3. Residential amenity
4. Refuse arrangements
5. Car and cycle parking
6. Third party representations
7. Planning Obligation Strategy

Principle of Development

- 8.2 The Midsummer Meadows Estate comprises a development of five apartment buildings close to the city centre, the first and largest of which was completed in 1969. The last and smallest of the buildings to be constructed, Woodvale Lodge, was completed in 2005. The estate now provides a total of 269 units, all providing small or starter home accommodation and including a proportion of affordable housing. The density of the site is currently around 166 dwellings per hectare and whilst this is relatively high, the whole estate benefits from generous landscaping.
- 8.3 Broadmeadows is located close to the western boundary of the site and the west elevation looks out across Lovers Walk to the rear of properties on the east side of Belvoir Road. A 1.8m high post and rail fence separates the site from Lovers Walk, which is an unmade track linking Manhattan Drive to Elizabeth Way, and which provides access to garages and gardens belonging to properties on Belvoir Road.
- 8.4 The orientation of the building within the plot is roughly north-south, and the elongated footprint is such that the most significant elevations are those facing east and west. The closest neighbouring properties are situated to the south and west of the application site, and lie outside the boundaries of the estate in Belvoir Road and Manhattan Drive. The east, south and north elevations of Broadmeadows look out on to access roads and/ or amenity space, and will be visible chiefly from elsewhere in the estate. The west elevation will be visible from the rear of properties on Belvoir Road.
- 8.5 The proposed roof extension will create eight new dwellings, all one bedroom units and provision will be made for additional cycle parking. The application also proposes the installation of two air to water source heat pumps on the roof, positioned on top of each of the two 'towers'. Policy 5/1 makes provision for the provision of new housing, including housing development on windfall sites, subject to existing land use and compatibility with adjoining uses; Policy 8/17 makes provision for the installation of renewable technology, subject to being satisfied that any adverse impacts are minimised. In my opinion, the principle of the development is acceptable and in accordance with these policies, subject to my more detailed assessment of the

scheme's acceptability in relation to context, design detail, and impact on residential amenity.

Context of site, design and external spaces

- 8.6 Midsummer Meadows lies immediately to the west of the De Freville Conservation Area, whose boundary runs around the perimeter of the site. The estate was built prior to the designation of the Conservation Area, and the buildings range in height from three (Broadmeadows and Woodvale Lodge) to four, five and seven storey. The design and appearance of each block differs; Broadmeadows has a simple brick and glass finish. The height of proposed building would remain lower than that of Bridgeacre, located to the north of Broadmeadows, where an additional fifth floor has been added following grant of permission in 2012. The additional floor would be clad in matt bronze metal panels.
- 8.7 The surrounding residential streets vary in age, character and appearance. Manhattan Drive has been developed in the last fifty years and is characterised by brick and timber clad two storey terraced housing, in contrast with the more substantial late Victorian brick villas of Belvoir Road, most of which have been extended to three storeys with the addition of rear facing dormer extensions.
- 8.8 The distance between the perimeter fence which forms the site boundary between Lovers Walk and Broadmeadows is approximately 8m. A number of mature trees occupy the space between the building and the boundary fence; these currently filter views looking west elevation from the upper floors of Broadmeadows, and partially screen the building when viewed from the rear of properties in Belvoir Road, looking east towards the development site.
- 8.9 The applicant has submitted a landscape strategy/management plan which indicates that three of these trees, all pollarded willows (*Salix Alba*), are to be managed in accordance with a scheme of works to be agreed with the Council's Tree Officer, so that they continue to provide a screen between Broadmeadows and the houses to the west. In addition, five new willows (*Salix Alba*) and two alders are to be planted to provide for a succession of specimen trees (over-

mature trees will be removed once these become established) and two existing hawthorn trees will be removed.

- 8.10 The nearest neighbours are located to the south of the site on east side of Manhattan Drive; of these the closest is number 1 Manhattan Drive which is approximately 15m from the south facing elevation of Broadmeadows. The closest properties on Belvoir Road are numbers 28 – 32, all separated by a distance of 40m – 45m from Broadmeadows.
- 8.11 The incremental increase in proposed density would be small, although it is recognised that it follows a previously consented increase at Bridgeacre, where 9 additional dwellings have recently been provided at fifth floor level. The development would generate an additional demand for parking (car and cycle) and refuse storage, and I give further consideration to these matters elsewhere in my assessment.
- 8.12 In design terms, I consider that the proposal adds interest to the somewhat bland appearance of the building whilst respecting its existing proportions, and that overall, the architectural quality of the estate will be enhanced. Public viewpoints from within the Conservation Area will be limited, but from Lovers Walk (a private road) the design approach will not be out of character with the scale and appearance of development elsewhere in the vicinity. I note that a number of roof extensions have been permitted within the Conservation Area which have introduced a more contemporary design treatment to the rear elevations visible from Lovers Walk.
- 8.13 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 3/4, 3/7, 3/14 and 4/11.

Residential Amenity

Impact on amenity of Neighbouring Occupiers

- 8.14 I have considered the impact on neighbouring residential amenities in terms of overlooking, overshadowing, dominance and enclosure, and have been mindful of the concerns raised in a number of representations in relation to these matters.

Overlooking

- 8.15 The nearest neighbour is No. 1 Manhattan Drive, but there will be no impact in terms of overlooking as there are no windows in the side elevation. The closest properties which have views of the application site are those located on the east side of Belvoir Road, and of these, the rear elevations of numbers 28 and 30 are approximately 44m and 45m respectively from Broadmeadows, measured from the nearest part of the building. These and other adjacent properties are currently overlooked by - and overlook - first and second floor apartments with west facing windows, but it is apparent from my site visit and from the sections submitted with this application that there is limited scope for a direct line of sight due to the presence of mature trees in the intervening space, some of which are in the gardens of those properties. The applicant intends to manage trees on the site to ensure a succession of healthy trees to replace mature specimens as they are lost, and in my view it would be inappropriate to require further planting, as this would result in an unacceptable loss of light to existing occupiers of apartments at lower levels.
- 8.16 It is clearly the case that there will be less likelihood of foliage obstructing views at third floor level, and that in any event, views will be opened up during the winter months and periodically when trees are pollarded. However, the intervening distance is more than double that between the front elevations of facing properties located on opposite sides of Belvoir Road and I do not consider that the degree of additional overlooking would be so severe as to warrant refusal. I note that there have been some objections to the size of the proposed windows but I do not consider that a reduction in height would materially alter the degree of overlooking.
- 8.17 The orientation of other apartment blocks within the Midsummer Estate and the distances between them and Broadmeadows are such that I do not consider overlooking will arise elsewhere from the proposed development.

Overshadowing and dominance/enclosure

- 8.18 The Design and Access Statement includes a shadow study comprising a number of diagrams. These show the implications of the development at 09.00, 12.00 and 15.00 hours on the

summer and winter solstices and the autumnal and vernal equinoxes. The shadows drawn show that the impact will be greatest in December and early in the morning. However the shade cast will fall principally on amenity/ garden land. The broadly north-south orientation of the building limits the degree of shading to neighbouring properties to the west, located on Belvoir Road, and whilst the shadows will be slightly longer than at present, extending across Lovers Walk to gardens, the periods of shade will not be significantly increased and will be substantially masked by the shade cast by trees to the west of Broadmeadows.

Air to water source heat pumps

- 8.19 There is a concern that noise may transfer from the heat pumps to neighbouring properties. The Environmental Health Officer has commented on this matter and I am satisfied that noise can be controlled through the recommended condition.
- 8.20 In my opinion the proposal adequately respects the residential amenity of its neighbours and the constraints of the site and I consider that it is compliant with Cambridge Local Plan policies 3/4, 3/7, 3/12 and 3/14.

Amenity of future occupiers

- 8.21 The location and quality of the proposed accommodation will generally provide a high standard of residential amenity for future occupiers. I note that there is no lift in Broadmeadows and that it is not considered feasible to accommodate one. Whilst this is not ideal and would certainly not be suitable for family accommodation, the accommodation is clearly intended for occupation by single people or couples and with this in mind I consider the proposed access arrangements to be adequate.
- 8.22 In my opinion the proposal provides a high-quality living environment and an appropriate standard of residential amenity for future occupiers, and I consider that in this respect it is compliant with Cambridge Local Plan (2006) policies 3/7 and 3/12.

Refuse Arrangements

- 8.23 No provision will be made for additional refuse storage, on the basis that existing provision is adequate. The Environmental Health Officer has raised no objection.
- 8.24 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 3/12.

Car and Cycle Parking

Car Parking

- 8.25 The site lies within the controlled parking zone and no additional parking provision is proposed. The Highways Authority officer has raised no objection but there have been objections from neighbours who are concerned about increased traffic generation. The Design and Access Statement sets out the current position in relation to car ownership and likely demand for parking, which I have summarized below.
- 8.26 Surveys carried out over the past 40 years indicate that car ownership in Midsummer Meadows has fallen over this period from a maximum of around 50% and that car usage at peak times is currently about 31%. Based on recent experience, it is estimated that the occupants of the new flats will own no more than 4 spaces in total.
- 8.27 There is currently a total of 172 spaces laid out. There are 192 flats in the four buildings owned by the applicant (Bridgeacre is the fifth) and typically 60 cars are parked in these spaces overnight. Permission has previously been granted for 5 additional spaces [under c/98/0432] but at this point in time the applicants do not consider it necessary to make these available for use.
- 8.28 Recent parking restrictions have improved pressure on on-street parking in the vicinity and further traffic management measures are proposed. In my view the amount of additional traffic likely to be generated from this scheme will not result in a material worsening of current conditions.

Cycle Parking

- 8.29 Six new cycle hoops (12 spaces) are proposed in the area to the rear of 1, 3 and 5 Manhattan Drive. These will be in addition to the existing 26 cycle (including 12 visitor spaces) which currently serve 18 flats at Broadmeadows, located to the rear of Tower 2.
- 8.30 Cycle ownership has grown steadily since the 1980s from around 40% to 74%. Whilst recent surveys indicate that some spare capacity remains, the proposed additional provision in the vicinity of Tower 1 is welcomed.
- 8.31 It is proposed to cover the 14 existing cycle spaces reserved for residents with a tiled pitched roof canopy, standing approximately 3.1m to ridge height. The location of this structure to the rear of Broadmeadows alongside the refuse storage compound and beside the boundary fence will be unobtrusive, and this element of the proposal is supported.
- 8.32 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 8/6 and 8/10.

Third Party Representations

- 8.33 Most of the objections received from residents have been addressed above, but there remain issues relating to the construction phase, including concerns about safety, noise, and increased congestion in surrounding streets, especially Belvoir Road. A degree of nuisance to adjacent residents is likely to be unavoidable whilst construction is in progress but this is an environmental management issue. In my opinion, the Environmental Health Officer's recommended condition is likely to be sufficient to minimise these short term impacts. A further condition is recommended to limit noise and vibration to which the occupants of the second floor flats may be exposed.
- 8.34 It has been suggested that, if this scheme is approved, there should be a veto on any further roof extensions. Whilst I understand the concerns of residents in relation to this matter, I do not consider this to be a matter which can be addressed through a planning condition. The proposed additional floor very clearly has the appearance of top floor (indeed it is likened to a 'hat' in the Design and Access statement) and in any event

the loading bearing capabilities of the building would appear to preclude any further roof raising.

- 8.35 Whilst it is not possible to rule out future applications of this nature in relation to other buildings at Midsummer Meadows, there is only one (Woodvale Lodge) which is currently lower than five storeys high. Any such application would need to be considered on its merits.

Planning Obligations

- 8.36 The Community Infrastructure Levy Regulations 2010 have introduced the requirement for all local authorities to make an assessment of any planning obligation in relation to three tests. If the planning obligation does not pass the tests then it is unlawful. The tests are that the planning obligation must be:
- (a) necessary to make the development acceptable in planning terms;
 - (b) directly related to the development; and
 - (c) fairly and reasonably related in scale and kind to the development.

In bringing forward my recommendations in relation to the Planning Obligation for this development I have considered these requirements

The Planning Obligation Strategy (2010) provides a framework for expenditure of financial contributions collected through planning obligations, Cambridgeshire and Peterborough Waste Partnership (RECAP) : Waste Management Design Guide provides advice on the requirements for internal and external waste storage, collection and recycling in new residential and commercial developments. The applicants have indicated their willingness to enter into a S106 planning obligation in accordance with the requirements of the Strategy and relevant Supplementary Planning Documents. The proposed development triggers the requirement for the following community infrastructure:

Open Space

8.37 The Planning Obligation Strategy requires that all new residential developments contribute to the provision or improvement of public open space, either through provision on site as part of the development or through a financial contribution for use across the city. The proposed development requires a contribution to be made towards open space, comprising outdoor sports facilities, indoor sports facilities, informal open space and provision for children and teenagers. The total contribution sought has been calculated as follows.

8.38 The application proposes the construction of two one-bedroom flats and 6 studios. A house or flat is assumed to accommodate one person for each bedroom, but one-bedroom flats are assumed to accommodate 1.5 people. Contributions towards provision for children and teenagers are not required from one-bedroom units. The totals required for the new buildings are calculated as follows:

Outdoor sports facilities					
Type of unit	Persons per unit	£ per person	£per unit	Number of such units	Total £
studio	1	238	238	6	1428
1 bed	1.5	238	357	2	714
Total					2142

Indoor sports facilities					
Type of unit	Persons per unit	£ per person	£per unit	Number of such units	Total £
studio	1	269	269	6	1614
1 bed	1.5	269	403.50	2	807
Total					2421

Informal open space					
Type of unit	Persons per unit	£ per person	£per unit	Number of such units	Total £
studio	1	242	242	6	1452
1 bed	1.5	242	363	2	726
Total					2178

Provision for children and teenagers					
Type of unit	Persons per unit	£ per person	£per unit	Number of such units	Total £
studio	1	0	0	6	0
1 bed	1.5	0	0	2	0
Total					0

8.39 Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010) and the Cambridge City Council Open Space Standards Guidance for Interpretation and Implementation (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/8 and 10/1 and the Planning Obligation Strategy 2010 and the Cambridge City Council Open Space Standards Guidance for Interpretation and Implementation (2010)

Community Development

8.40 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to community development facilities, programmes and projects. This contribution is £1256 for each unit of one or two bedrooms and £1882 for each larger unit. The total contribution sought has been calculated as follows:

Community facilities			
Type of unit	£per unit	Number of such units	Total £
studio	1256	6	7536
1 bed	1256	2	2512
Total			2512

8.41 Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 5/14 and 10/1 and the Planning Obligation Strategy 2010.

Waste

- 8.42 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the provision of household waste and recycling receptacles on a per dwelling basis. As the type of waste and recycling containers provided by the City Council for houses are different from those for flats, this contribution is £75 for each house and £150 for each flat. The total contribution sought has been calculated as follows:

Waste and recycling containers			
Type of unit	£per unit	Number of such units	Total £
House	75		
Flat	150	8	1200
Total			1200

- 8.43 Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/7, 3/12 and 10/1 and the Planning Obligation Strategy 2010.

Education

- 8.44 Upon adoption of the Planning Obligation Strategy (2010) the Council resolved that the Education section in the 2004 Planning Obligations Strategy continues to apply until it is replaced by a revised section that will form part of the Planning Obligations Strategy 2010. It forms an annex to the Planning Obligations Strategy (2010) and is a formal part of that document. Commuted payments are required towards education facilities where four or more additional residential units are created and where it has been established that there is insufficient capacity to meet demands for educational facilities.
- 8.45 In this case, 8 additional residential units are created and the County Council have confirmed that there is insufficient capacity to meet demand for lifelong learning. Contributions are not required for pre-school education, primary education and secondary education for one-bedroom units. Contributions are therefore required on the following basis.

Life-long learning					
Type of unit	Persons per unit		£per unit	Number of such units	Total £
1 bed	1.5		160	8	1280
Total					1280

8.46 Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy 2010, I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 5/14 and 10/1 and the Planning Obligation Strategy 2010.

Affordable Housing

8.47 The development is not required to make provision for affordable housing as only 8 units are being provided.

Transport

8.48 The development is not required to make provision for transport as the additional trips generated by proposed development are not in excess of 50 additional person trips to and from the site on a daily basis.

Public Art

8.49 The development is not of a scale required to make provision for public art.

Monitoring

8.50 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the costs of monitoring the implementation of planning obligations. The costs are calculated according to the heads of terms in the agreement. The contribution sought will be calculated as £150 per financial head of term and £300 per non-financial head of term. Contributions are therefore required on that basis.

Planning Obligations Conclusion

- 8.51 It is my view that the planning obligation is necessary, directly related to the development and fairly and reasonably in scale and kind to the development and therefore the Planning Obligation passes the tests set by the Community Infrastructure Levy Regulations 2010.

9.0 CONCLUSION

- 9.1 The National Planning Policy Framework provides a presumption in favour of sustainable development, subject to finding the proposal compliant with Cambridge Local Plan policies. The proposed development will contribute to meeting housing need and provides high quality accommodation for single people and couples for which there is high demand.
- 9.2 The design of the additional storey has clearly responded to the local context, and notwithstanding the concerns raised by residents of Belvoir Road, I do not consider that the proposed development will give rise to demonstrable harm in terms of overlooking, loss of privacy, traffic generation or impact on the character and appearance of the Conservation Area.
- 9.3 Overall, I am satisfied that the scheme should be supported and recommend approval.

10.0 RECOMMENDATION

1. APPROVE subject to the satisfactory completion of the s106 agreement by 20th June 2014 and subject to the following conditions and reasons for approval:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans as listed on this decision notice.

Reason: In the interests of good planning, for the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.

3. No development shall take place until samples of the materials to be used in the construction of the external surfaces of the development hereby permitted have been submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure that the appearance of the external surfaces is appropriate. (Cambridge Local Plan 2006 policies 3/4, 3/12 and 3/14)

4. Except with the prior written agreement of the local planning authority no construction work or demolition shall be carried out or plant operated other than between the following hours: 0800 hours to 1800 hours Monday to Friday, 0800 hours to 1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the adjoining properties. (Cambridge Local Plan 2006 policy 4/13)

5. Before the development/use hereby permitted is commenced, a scheme for the insulation of the building(s) and/or plant in order to minimise the level of noise emanating from the said building(s) and/or plant shall be submitted to and approved in writing by the local planning authority and the scheme as approved shall be fully implemented before the use hereby permitted is commenced.

Reason: To protect the amenity of nearby properties (Cambridge Local Plan 2006 policy 4/13)

6. Prior to the commencement of the development hereby approved (including any pre-construction and enabling works), the applicant shall submit a report in writing, regarding construction noise and vibration impact associated with this development, for approval by the local authority. The report shall be in accordance with the provisions of BS 5228:2009 Code of Practice for noise and vibration control on construction and open sites and include full details of any mitigation measures to be taken to protect local residents from noise and or vibration. Development shall be carried out in accordance with the approved details.

Reason: To protect the amenity of nearby properties (Cambridge Local Plan 2006 policy 4/13)

7. Except with the prior agreement of the local planning authority in writing, there should be no collection or deliveries to the site during the demolition and construction stages outside the hours of 0700 hrs and 1900 hrs on Monday ' Saturday and there should be no collections or deliveries on Sundays or Bank and public holidays.

Reason: To protect the amenity of nearby properties (Cambridge Local Plan 2006 policy 4/13)

8. No works or development shall take place until full details of all proposed tree planting, and the proposed times of planting, have been submitted to and approved in writing by the local planning authority, and all tree planting shall be carried out in accordance with those details and at those times.

Reason: To ensure the satisfactory implementation of tree planting in the interests of visual amenity. (Cambridge Local Plan 2006 policies 3/4, 3/11, 3/12 and 4/4)

9. If within a period of five years from the date of the planting of any tree or shrub, that tree or shrub, or any tree or shrub planted as a replacement for it, is removed, uprooted, destroyed or dies or becomes, in the opinion of the local planning authority, seriously damaged or defective, another tree or shrub of the same species and size as that originally planted shall be planted at the same place, unless the local planning authority gives written consent to any variation.

Reason: To ensure the provision of amenity afforded by the proper maintenance of existing and/or new landscape features. (Cambridge Local Plan 2006 policies 3/4, 3/12 and 3/11)

10. Details of the specification and position of fencing, or any other measures to be taken for the protection of any trees from damage during the course of development, shall be submitted to the local planning authority for its written approval, and implemented in accordance with that approval before any equipment, machinery or materials are brought onto the site for the purpose of development (including demolition). The agreed means of protection shall be retained on site until all equipment, and surplus materials have been removed from the site. Nothing shall be stored or placed in any area protected in accordance with this condition, and the ground levels within those areas shall not be altered nor shall any excavation be made without the prior written approval of the local planning authority.

Reason: To protect the visual amenity of the area and to ensure the retention of the trees on the site. (Cambridge Local Plan 2006 policies 3/4, 3/11, 3/12 and 4/4)

11. Prior to the commencement of development, full details of the air to water source heat pumps shall be submitted to and approved in writing by the local planning authority. Such details shall include external dimensions and finish.

Reason: To ensure that the appearance of the external surfaces is appropriate (Cambridge Local Plan 2006 policies 3/4 and 4/12)

12. Prior to commencement and in accordance with BS5837 2012, a phased Arboricultural Method Statement (AMS) and Tree Protection Plan (TPP) shall be submitted to the local planning authority for its written approval, before any equipment, machinery or materials are brought onto the site for the purpose of development (including demolition). In a logical sequence the AMS and TPP will consider all phases of construction in relation to the potential impact on trees and detail the specification and position of protection barriers and ground protection and all measures to be taken for the protection of any trees from damage during the course of any activity related to the development, including demolition, storage of materials, ground works, installation of services, erection of scaffolding and landscaping. The approved AMS and TPP will be implemented throughout the development and the agreed means of protection shall be retained on site until all equipment, and surplus materials have been removed from the site. Nothing shall be stored or placed in any area protected in accordance with this condition, and the ground levels within those areas shall not be altered nor shall any excavation be made without the prior written approval of the local planning authority.

Reason: To ensure the satisfactory implementation of tree planting in the interests of visual amenity (Cambridge Local Plan 2006 policies 3/4, 3/11, 3/13 and 4/4)

INFORMATIVE: New development can sometimes cause inconvenience, disturbance and disruption to local residents, businesses and passers by. As a result the City Council runs a Considerate Contractor Scheme aimed at promoting high standards of care during construction. The City Council encourages the developer of the site, through its building contractor, to join the scheme and agree to comply with the model Code of Good Practice, in the interests of good neighbourliness. Information about the scheme can be obtained from The Considerate Contractor Project Officer in the Planning Department (Tel: 01223 457121).

INFORMATIVE: To satisfy standard condition C62 (Noise Insulation), the rating level (in accordance with BS4142:1997) from all plant and equipment, vents etc (collectively) associated with this application should be less than or equal to the existing background level (L90) at the boundary of the premises subject to this application and having regard to noise sensitive premises.

Tonal/impulsive noise frequencies should be eliminated or at least considered in any assessment and should carry an additional 5 dB(A) correction. This is to guard against any creeping background noise in the area and prevent unreasonable noise disturbance to other premises. This requirement applies both during the day (0700 to 2300 hrs over any one hour period) and night time (2300 to 0700 hrs over any one 5 minute period).

It is recommended that the agent/applicant submits a noise prediction survey/report in accordance with the principles of BS4142: 1997 'Method for rating industrial noise affecting mixed residential and industrial areas' or similar, concerning the effects on amenity rather than likelihood for complaints. Noise levels shall be predicted at the boundary having regard to neighbouring premises.

Such a survey / report should include: a large scale plan of the site in relation to neighbouring premises; noise sources and measurement / prediction points marked on plan; a list of noise sources; details of proposed noise sources / type of plant such as: number, location, sound power levels, noise frequency spectrums, noise directionality of plant, noise levels from duct intake or discharge points; details of noise mitigation measures (attenuation details of any intended enclosures, silencers or barriers); description of full noise calculation procedures; noise levels at a representative sample of noise sensitive locations and hours of operation.

Any report shall include raw measurement data so that conclusions may be thoroughly evaluated and calculations checked.

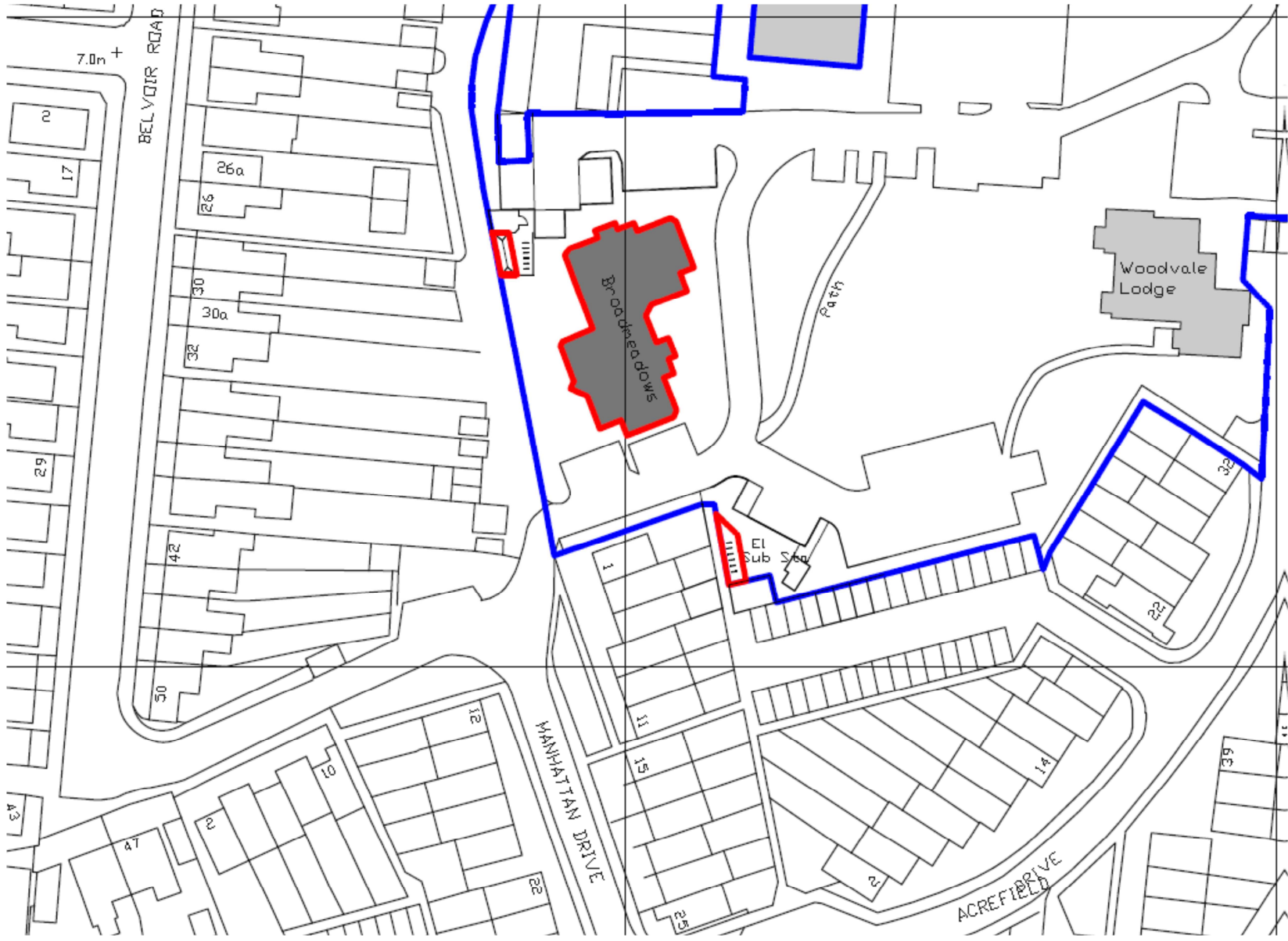
INFORMATIVE: The residents of the new dwellings will not qualify for Residents' Permits of any kind within the existing Residents' Parking Schemes operating on surrounding streets. This fact should be made clear to prospective occupiers before any sale or lease is agreed.

2. Unless prior agreement has been obtained from the Head of Planning, in consultation with the Chair and Spokesperson of this Committee to extend the period for completion of the Planning Obligation required in connection with this development, if the Obligation has not been completed by 20th June 2014, or if Committee determine that the application be refused against officer recommendation of approval, it is recommended that the application be refused for the following reason(s):

The proposed development does not make appropriate provision for public open space, community development facilities, and life-long learning facilities, waste facilities, waste management and monitoring in accordance with Cambridge Local Plan 2006 policies 3/7, 3/8, 3/12, 5/5, and 10/1 and the Cambridgeshire and Peterborough Minerals and Waste Development Plan (Core Strategy Development Plan Document July 2011) policy CS16 and as detailed in the Planning Obligation Strategy 2010, the Open Space Standards Guidance for Interpretation and Implementation 2010, Cambridgeshire and Peterborough Waste Partnership (RECAP): Waste Management Design Guide Supplementary Planning Document 2012

3. In the event that the application is refused, and an Appeal is lodged against the decision to refuse this application, delegated authority is sought to allow officers to negotiate and complete the Planning Obligation required in connection with this development

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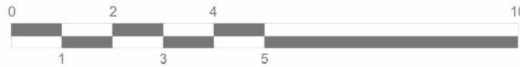
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Proposed East Elevation

BROADMEADOWS

MIDSUMMER MEADOWS



NOTES

- 1. THIS DRAWING MUST NOT BE SCALED
- 2. THIS DRAWING IS SUBJECT TO SURVEY & STATISCIAN APPROVALS
- 3. THIS DRAWING WILL BE SUBJECT TO CHANGE DURING THE DESIGN DEVELOPMENT PROCESS.

Drawing Title: Proposed East Elevation

Scale: 1/100@A3 1/50@A1

Date: AUGUST 2013

Drawing Number: SZ_1211_PL_121



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Proposed West Elevation

BROADMEADOWS

MIDSUMMER MEADOWS



- NOTES
1. THIS DRAWING MUST NOT BE SCALED
 2. THIS DRAWING IS SUBJECT TO SURVEY & STATUTORY APPROVALS
 3. THIS DRAWING WILL BE SUBJECT TO CHANGE DURING THE DESIGN DEVELOPMENT PROCESS.

Drawing Title: Proposed West Elevation

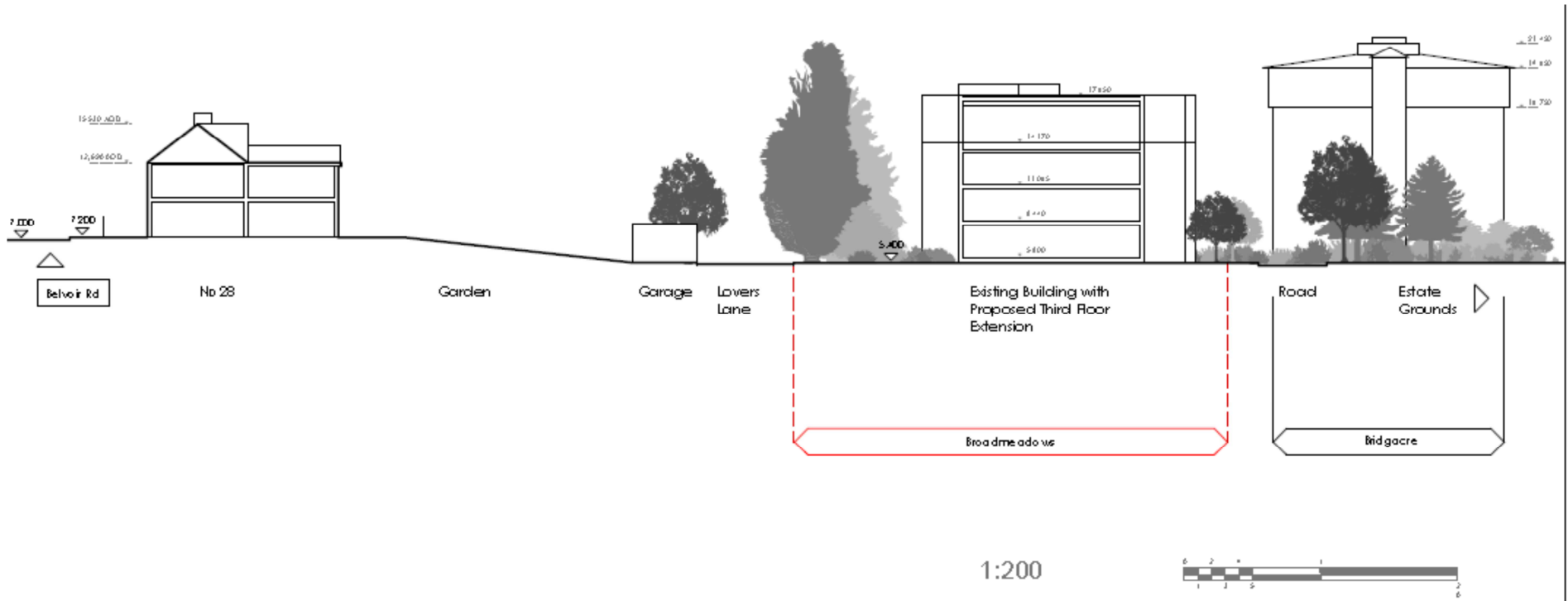
Scale: 1/100@A3 1/50@A1

Date: AUGUST 2013

Drawing Number: SZ_1211_PL_123



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Section C-C through 28 Belvoir Rd

BROADMEADOWS

MIDSUMMER ESTATE

Drawing Title: Context Section C-C through 28 Belvoir Rd

Scale: 1/2000 A2 1/4000 A3

Date: August 2013

Drawing Number: SZA_1211V_PL134

SZA
Sutherland
Associates

8 Dalrymple Street
 Brisbane QLD 4000
 Phone: 07 3251 2244
 Fax: 07 3251 2245
 Email: info@sza.com.au
 www.sza.com.au

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East Context Section



West Context Section

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Legend

- Boundary of Midsummer Meadows Estate
- Existing Trees to be retained (including Off-Site Trees)
- Existing Shrub Areas/Hedgerows - to be retained/enhanced with new planting at entrance to the estate
- Existing Mown Grass Areas/Lawns
- Existing White Willow Trees to be Retained and Managed*
- Existing Hawthorn Trees to be Removed
- Proposed Alder Trees (*Alnus glutinosa Laciniata*)
- Proposed Willow Trees (*Salix alba*)
- Proposed Hawthorn Trees (*Crataegus monogyna Alboplena*)* Longer term replacement planting

TREE PLANTING/MANAGEMENT NOTES*

1. The existing White Willow Trees are to be managed so that they continue to provide a screen between Broadmeadows and the houses to the west. These trees will be pruned during the first season according to a timetable and specification of works agreed with the Council's Tree Officer.
2. To enhance the amenity value of these Willow trees, they will continue to be pruned on a three year rotation. After ten years the condition of these trees will be reviewed with Tree Officer.
3. If it is considered by the Tree Officer that the condition of any existing Willow tree has sufficiently deteriorated and/or new planting (Willows and Alders) has become sufficiently well established, the tree will be removed and replacement planting (Hawthorns) provided as shown on the plan.
4. All new Alder trees will be advanced nursery stock trees. All other species will be standard trees, as set out in the schedule, UK grown and of local provenance if possible.
5. New tree planting, as set out, will be carried out within the first planting season following the granting of consent or as soon as practical.

FIGURE 1

Project:
Broadmeadows, Midsummer Meadows
Cambridge

Client:
Mayflower Manhattan Limited

Drawing Title:
**LANDSCAPE STRATEGY/
MANAGEMENT PLAN**

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Agenda Item 6

NORTH AREA COMMITTEE

20th March 2014

Application Number	13/1770/FUL	Agenda Item	
Date Received	13th December 2013	Officer	Mary Marston
Target Date	7th February 2014		
Ward	East Chesterton		
Site	Chesterton House Church Street Cambridge Cambridgeshire CB4 1DT		
Proposal	Sub division of Chesterton House curtilage to form new planning unit, erection of single storey dwelling and associated infrastructure and works including new boundary wall. Alterations to existing boundary wall to form new vehicular and pedestrian entrance.		
Applicant	Mr & Mrs Derek & Lorna Dazeley c/o Agent		

SUMMARY	<p>The development accords with the Development Plan for the following reasons:</p> <p>The proposed plot subdivision is acceptable in principle and the proposed new dwelling will contribute to meeting housing need</p> <p>The design and location of the proposed development responds appropriately to the constraints of the site within the curtilage of a Listed Building and avoids harm to the character and appearance of the Conservation Area</p> <p>The proposed development will not result in a demonstrable adverse impact on residential amenity or users of the adjacent highway</p>
RECOMMENDATION	APPROVAL

1.0 SITE DESCRIPTION/AREA CONTEXT

- 1.1 Chesterton House is a substantial three storey house located on the west side of Church Street, Chesterton. It occupies a large corner plot, bounded by Chesterton Road to the north and bounded by a tall brick wall which stands 3.2m high at its highest point.
- 1.2 The House is a Grade 2 Listed Building, of which the earliest parts date from around 1790. It is built in brick, with a tiled roof. It was subsequently extended and the appearance of the house has significantly altered as a result of these later 19th Century additions.
- 1.3 The site falls within the Chesterton and Ferry Lane Conservation Area. There are no trees protected by Tree Preservation Orders but there are several mature trees present on and adjacent to the site which are protected by the conservation area designation. Trees are a significant feature of the Conservation Area.
- 1.4 The site falls outside the controlled parking zone.

2.0 THE PROPOSAL

- 2.1 The application seeks permission for subdivision of the curtilage to form a new planning unit, erection of a single storey dwelling and associated infrastructure, and works including new boundary wall and alterations to the existing boundary wall to form new vehicular and pedestrian entrance.
- 2.2 The garden includes a swimming pool, located to the north of the house, and the proposed new dwelling would be located on a roughly triangular plot between the swimming pool and Chesterton Road at its narrowest (north western) end and extending to the common boundary with 114 Chesterton Road at its widest point. The plot area would be 467m². The residual plot area on which Chesterton House would stand would be 2038m².
- 2.3 The proposed house would be a single storey building with a footprint of 161m³, built in brick with a flat sedum roof, with accommodation arranged around a small courtyard. The proposed new access will involve the removal of a section of

the tall brick wall which runs along the Chesterton Road boundary and installing solid wooden gates.

2.4 The application is accompanied by the following supporting information:

1. Design and Access Statement
2. Planning Statement
3. Heritage Statement
4. Tree Survey, Arboricultural Impact Assessment and Preliminary Arboricultural Method Statement
5. Site layout and scaled floorplans of the proposed dwelling
6. External elevations and cross sections of the proposed dwelling
7. East, west, north and south context sections
8. Scaled drawings to show proposed refuse and bicycle storage

2.5 The application is brought before Planning Committee because there have been five objections and two letters of support.

3.0 SITE HISTORY

Reference	Description	Outcome
C/02/0008	Conversion and extension to pigeon house in garden of Chesterton House to form new dwelling	Approved with conditions
C/02/0009	Conversion and extension to Grade II pigeon house, in garden of Chesterton House to form new dwelling.	Approved with conditions

3.1 Pre-application advice was sought in September 2013. The response was supportive in principle and raised no significant concerns in relation to design and impact on residential amenity. The applicant was advised to provide additional information in relation to access and arboricultural impact.

4.0 PUBLICITY

4.1 Advertisement:	No
Adjoining Owners:	Yes
Site Notice Displayed:	Yes

5.0 POLICY

5.1 See Appendix 1 for full details of Central Government Guidance, Cambridge Local Plan 2006 policies, Supplementary Planning Documents and Material Considerations.

5.2 Relevant Development Plan policies

PLAN	POLICY NUMBER
Cambridgeshire and Peterborough Minerals and Waste Plan (Development Plan Documents) July 2011	CS16
Cambridge Local Plan 2006	3/1 3/4 3/7 3/10 3/11 3/12 3/13 3/14 4/4, 4/10, 4/11 5/1 5/5 5/10 8/1 8/2 8/3 8/4 8/5 8/6, 8/10 10/1

5.3 Relevant Central Government Guidance, Supplementary Planning Documents and Material Considerations

Central Government Guidance	National Planning Policy Framework March 2012 Circular 11/95
Supplementary Planning Documents	Sustainable Design and Construction Cambridgeshire and Peterborough Waste Partnership (RECAP) : Waste Management

	Design Guide
	Planning Obligation Strategy

5.4 Status of Proposed Submission – Cambridge Local Plan

Planning applications should be determined in accordance with policies in the adopted Development Plan and advice set out in the NPPF. However, after consideration of adopted plans and the NPPF, policies in emerging plans can also be given some weight when determining applications. For Cambridge, therefore, the emerging revised Local Plan as published for consultation on 19 July 2013 can be taken into account, especially those policies where there are no or limited objections to it. However it is likely, in the vast majority of instances, that the adopted development plan and the NPPF will have considerably more weight than emerging policies in the revised Local Plan.

For the application considered in this report, the following policies/there are no policies (delete as appropriate) in the emerging Local Plan are of relevance:

6.0 CONSULTATIONS

Cambridgeshire County Council (Highways Development Management)

- 6.1 The Highways Authority Officer has advised that either the gates should be removed from the proposal, or the entrance to the plot should be set back 5m from the highway in the interests of highway safety.
- 6.2 He has also recommended that prior to commencement of the first use, the vehicular access where it crosses the public highway shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification and that visibility splays be provided as shown on the drawings and kept clear of all obstructions exceeding 600mm high. Further conditions and informatives are recommended for addition to any permission that the Planning Authority is minded to issue in order to avoid displacement of loose material onto the highway, and in the interests of highway safety.

Head of Refuse and Environment

- 6.3 The Environmental Health Officer has no objection to this application in principal, subject to the following comments and recommendations:

Environmental Quality

- 6.4 In addition to the standard construction/delivery hours conditions, because the foundation assessment indicates that piling is required, the standard piling condition should be added to any permission.

Waste and recycling

- 6.5 The proposed ground floor plan indicates only two bins for the proposed development. Cambridge city council operates a three waste stream collection service and therefore the development needs to provide three wheelie bins.

Head of Streets and Open Spaces (Tree Team)

- 6.6 The Tree Officer has objected to the proposed development. Her original comments are summarised as follows:
- 6.7 Yew T005 makes a significant contribution to amenity and its loss will be detrimental to the character of the area. The removal of the sycamore is accepted but only with realistic provision for replacement planting. There is currently insufficient space within the new curtilage for such replacement.
- 6.8 Whilst it is acknowledged that the front of the new building, within the root protection area of the lime, T001, is proposed to be constructed on a specialised foundation, the proximity of the building to this tree is not realistic in terms of the pruning required to the tree to fit the building in and future pressure for on-going management/removal once the building is occupied. The lime is a very important street tree and the proposed pruning would be detrimental to its appearance. Lime trees are known for the sap drop which will coat the house, windows and hard standing requiring regular cleaning.
- 6.9 Following submission of a further arboricultural assessment, the

tree officer made the following additional comments.

- 6.10 T001 Lime: It is agreed that significant pruning will not be required to this tree to allow construction. Notwithstanding this, the tree's crown will dominate the front elevation and, once occupied, the new owners are likely to want the tree pruned/removed to reduce its detrimental impact.
- 6.11 T005 Yew: The amendment to the scheme to allow the retention of this tree is appreciated. However, the development will result in a necessity to manage the tree's future growth. Unmanaged the tree will overhang the parking turntable, drop fruit and debris on the car and possibly impact the turntable mechanism. At present the tree could be allowed to mature naturally with only minor pruning to maintain a reasonable clearance to the adjacent property.
- 6.12 T006 Sycamore: The loss of the tree is accepted, but it should be replaced.
- 6.13 Overview: Previous comments do not exaggerate future maintenance demands. The drive and parking area is and will be increasingly dominated by T004, T005 and T007 unless these trees are managed. The impact that T001 will have on light, and the sticky residue left from sap throughout the summer, will be considered a nuisance.

Historic Environment Officer

- 6.14 The Historic Environment Officer has advised that the site lies in an area of high archaeological potential and has recommended that the site should be subject to a programme of archaeological investigation and that this work should be secured through the inclusion of a suitable condition such as the model condition 'number 55' contained in DoE Planning Circular 11/95. A brief for the archaeological work can be obtained from the Historic Environment Officer upon request.

7.0 REPRESENTATIONS

- 7.1 The owners/occupiers of the following addresses have made representations:

- 119 High Street

- 210 Chesterton Road
- 214 Chesterton Road
- 21 Highworth Avenue
- St Andrews Vicarage

7.2 The representations can be summarised as follows:

Objections

- The cycleway which passes along Chesterton Road is currently unsatisfactory and the proposed vehicular access would increase the risk to cyclists;
- Cyclists approaching the access from the Church Street corner are only 12m from the access of 214 Chesterton Road after passing T001 and would have only 6m to react to a car exiting from the proposed access through the new gateway and from observation on a dry January morning between 8.00 and 8.30 am, 27 cyclists used the inner route between the tree and the wall;
- The pre-application response dismisses the Highways Officer's concern without due consideration - the application should be refused until a more satisfactory solution is found which addresses this concern;
- The proposal places undue emphasis on preserving a stretch of wall and minimising the impact on the streetscape at the expense of highways safety and the setback suggested by the Highways Officer is essential.
- A vehicle waiting to gain access could pose a hazard as well as a vehicle waiting to exit;

Letters of support

- Surprised to see reference to busy cycleway in front of development and question whether this is designated;
- Impressed by the care that has been taken by this application for a bungalow not to impose on my space;
- The situation of the site is screened by the party wall and shrubbery and the side facing 214 Chesterton Road will be barely noticeable;
- Part of the wall has already been replaced and the proposed gates will not harm the street scene;
- A 2 bed dwelling is unlikely to generate more than 6 car movements a day which would not materially worsen existing problems;

- The proposed access is onto the tapering end of a cul-de-sac where there are currently no yellow lines and whilst understanding their concerns, objectors have overstated their case;
- The footpath narrows to about 1.2m between the tree and the wall and the existing arrangements in the vicinity of this site sensibly seek to separate cyclists and pedestrians and the dropping of the kerb would improve current provisions;
- The safety of cyclist and pedestrians are important but cannot be the only consideration;
- Disagree with Sustran's comments in relation to proposed car and cycle parking (see below).

7.3 Two other third party representations have been received and are summarised as follows:

Sustrans' Comments:

- The proposal includes a blind vehicle access onto a public footway which is much used by pedestrians and cyclists;
- The footway and its adjacent roadway form an important desire line and centuries-old highway route, linking Chesterton Road and Chesterton High Street. While motor vehicles now use the nearby busy roundabout the old alignment remains of key importance for safe non-motor access, onto which a blind vehicle access would introduce unacceptable danger. We note and support the comments from Highways on the need to reject the proposals for safety reasons on this factor alone. An alternative might be to modify the layout (eg relocating the wall, or reducing its height) to reduce the risk to an acceptable level;
- We are also concerned about the on-site layout around the building's front entrance, and draw your attention to two documents whose guidelines have not been followed in these proposals:

The Cambridge Cycle Parking Guide on page 5 highlights an extract from Manual for Streets (MfS) 8.2.1: "Providing enough convenient and secure cycle parking at people's homes and other locations for both residents and visitors is critical to increasing the use of cycles. In residential developments, designers should aim to make access to cycle storage at least as convenient as access to car parking."

LTN 2/08 Cycle Infrastructure Design in section 11.2 also points out the need for residential parking to be sheltered as well as secure, and refers to MfS.

- The location of the car turntable, which positions the car's drive door beneath a canopy as the view from the dwelling's front door, is unacceptable, both aesthetically and in the dominance it gives to the car as the mode choice when leaving the building; in addition, this arrangement is not fail-safe;
- The cycle parking, while good in quantity and security, is located less conveniently than the car, and is unsheltered and the recommendations of the three documents referred to above have not been followed... this is unacceptable in a city whose policies aim to raise levels of walking and cycling.

7.4 Representations have been received from the County Councillor, Ian Manning, as follows:

- The impact of the access on the natural desire line from the High Street to Chesterton Road and onwards to Elizabeth Way, especially used by cyclists, is a concern;
- If minded to approve, I would ask that, for safety reasons, a condition be placed upon this application such that there is remodelling of the junction routing, dropping the kerb to the right of the tree looking from the high street and providing a clearly marked cycleway, and the option for cyclists to go to the left hand side of the tree should be discouraged;
- The addition of another entrance at this location could discourage cyclists.

The Old Chesterton Residents Association's comments

- Support objections submitted during the formal consultation period concerning the proposed access to the site and noted the comments of the Highways Officer and our County Councillor, Ian Manning;
- It is essential to minimise potential conflict along this very busy stretch of footway and long-term a modified footpath layout as suggested by Councillor Manning could achieve this but doubted that in isolation it would be a wholly satisfactory solution without a degree of visibility splay;
- Support the proposal for a car turntable on the premises;

- The level of commuter parking in the area has increased following the imposition of the de Freville area parking scheme;
- Concerned over the subdivision of the curtilage of Chesterton House and the proposed building which is considered out of keeping with the local vernacular generally and especially so in the context of the Conservation area and its immediately adjacent neighbours.

7.5 The above representations are a summary of the comments that have been received. Full details of the representations can be inspected on the application file.

8.0 ASSESSMENT

8.1 From the consultation responses and representations received and from my inspection of the site and the surroundings, I consider that the main issues are:

1. Principle of development
2. Context of site, design and external spaces
3. Impact on the Conservation Area
4. Residential amenity
5. Refuse arrangements
6. Highways safety
7. Impact on protected trees
8. Third party representations
9. Planning Obligation Strategy

Principle of Development

8.2 Chesterton House is a large house with a substantial garden, occupying a prominent position within Chesterton. Following previous permissions for the conversion and extension to the pigeon house in the garden of Chesterton House to form a new dwelling, and for a separate new dwelling in the grounds, both granted in 2002, the plot area is currently 0.25ha. The proposed reduction of approximately 500m² will therefore have little impact on the curtilage of the original dwelling house.

8.3 Policy 3/10 of the Cambridge Local Plan (2006) provides support in principle for subdivision, and subject to my assessment of the impact on residential amenity, character and appearance of the area, trees, highways and Listed Buildings, I

am satisfied that the principle of the proposed development is acceptable.

Context of site, design and external spaces

- 8.4 The proposed new dwelling has been deliberately designed to have a minimal physical presence beyond its immediate curtilage. The new house will have an eaves height of 2.8m above ground level which and the top of the brick boundary wall will be raised to the same height in those places where it currently stands 2.3m high. Matching brick would be used and a new stone coping installed. The existing piers will be left at their current height, but will also be topped off with a new coping stone, with the exception of one pier which will be removed and moved 600mm to allow for the new access.
- 8.5 A new boundary wall will be constructed to form the plot's southern boundary with Chesterton House in the style of the existing boundary wall and built in matching brick with piers, with some reduction in height to approximately 2m to allow light in to the garden and courtyard. The proposed sedum roof will soften views from upper floors of this property.
- 8.6 The most significant change to the street scene will be the creation of a new access from Chesterton Road, adjacent to the existing access to 214 Chesterton Road. A dropped kerb will be created and the existing ground level raised by 175mm to allow for a no-dig permeable driveway construction between the existing trees. To minimise the need for hard-standing and associated impact on shrubs and trees the proposal incorporates a vehicle turntable below the carport and adjacent to the front door. The dimensions of the proposed gates will maintain the line of the boundary wall, albeit the introduction of a wooden structure will create a 3m wide opening in the wall when the gates are in use.
- 8.7 In design terms, I consider that the proposal responds appropriately to its surroundings, and that in general terms, the contemporary approach to design and appearance respects the historic character of the principal dwelling house and its immediate environs. I give further consideration to the impact on the Conservation Area and setting of the Listed Building below.

- 8.8 Pre-application advice provided prior to submission highlighted potential concerns with impact on trees and highway safety and I also assess these matters below.
- 8.9 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 3/4, 3/7 and 3/12.

Residential Amenity

Impact on amenity of neighbouring occupiers

- 8.10 I have considered the impact on neighbouring residential amenities in terms of overlooking, overshadowing, dominance and enclosure, and have been mindful of the supportive comments made by the nearest neighbour at 214 Chesterton Road. The Design and Access Statement indicates that the lower height of the proposed boundary wall between the applicant's land and 214 Chesterton Road responds to a pre-application feedback from the occupier. In my view, the low profile of the proposed dwelling, and its position behind substantial boundary walls mean that no issues of overlooking, overshadowing or visual domination arise. Given the distance of the proposed building from other dwellings and the fact that only a single dwelling is proposed, I do not consider that any issues of noise or disturbance to neighbours arise either.

Amenity of future occupiers

- 8.11 The location and quality of the proposed accommodation will generally provide a high standard of residential amenity for future occupiers. Whilst the amount of amenity space proposed is limited, it is in my view quite adequate for a modest dwelling such as this.
- 8.12 In my opinion the proposal provides a high-quality living environment and an appropriate standard of residential amenity for future occupiers, and I consider that in this respect it is compliant with Cambridge Local Plan (2006) policies 3/7 and 3/12.

Impact on Conservation Area

- 8.13 The character of the Conservation Area is dominated by the number of mature trees and the substantial boundary wall

around Chesterton House in the vicinity of the application site. The Conservation Officer has raised no objection, noting that the proposed new dwelling has been designed to have a minimal presence within the Chesterton and Ferry Lane Conservation Area, and public views of from within the Conservation Area will be very limited.

- 8.14 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 4/11.

Impact on Listed Buildings

- 8.15 The setting of the Listed Building has changed substantially in past years, and more recently as parcels of garden land have been developed and a swimming pool installed in the rear garden. The Conservation Officer has advised that the setting of the Listed Building should not be unduly affected provided the new boundary wall is well designed and executed.

- 8.16 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 4/10.

Refuse Arrangements

- 8.17 Provision was originally made for two additional refuse bins, but an amended drawing has now been received in which the required three bins are accommodated. In my opinion the proposal is compliant with Cambridge Local Plan (2006) policy 3/12.

Highway safety

- 8.18 The site will take access from Chesterton Road and in accordance with adopted parking standards off-street parking for one vehicle is proposed. There will also be provision for four cycle spaces.
- 8.19 The highway authority has raised an objection on highway safety grounds and has recommended that the gates should be removed. There have also been objections from third parties and from County Councillor Manning, who are concerned about increased traffic generation and the risk this might pose to other users of the highway, especially cyclists.

- 8.20 The Design and Access Statement summarises the pre-application consultation which has taken place in relation to the proposed access. The City Council considered the alternative option of providing a 5m setback and advised that this would be undesirable in terms of maintaining the character and appearance of the street scene. The recommended setback was also considered unnecessary, given that Chesterton Road terminates in a-cul-de-sac some 5m beyond the proposed access.
- 8.21 The highway officer's view is that a busy cycleway passes to the front of the proposed development, and a vehicle stopped at this location waiting for the gates to open or closed would obstruct this. However, whilst a sign is positioned indicating that cyclists should use the section of the footway between the lime tree and the bus stop there is no dropped kerb at this point and no Traffic Regulation Order for shared use associated with the section of footway in question.
- 8.22 The informal advice of the cycle officer is that an environmental improvement scheme is under consideration to improve the cycle route, with new signage taking outbound cyclists towards the vehicular junction and a new cycle slip to get inbound cyclists onto the road, next to the bus stop. However, it has not been possible to establish the status of this proposal or whether a budget is available. I am currently awaiting further clarification.
- 8.23 Clearly, an exiting vehicle must give way to an approaching cyclist or pedestrian and the highways officer's view is that the pillars either side of the gate would obstruct visibility quite significantly. There would also be an obstruction of the public highway whilst opening/closing gates. Whilst it may be possible to arrive at a compromise solution which would avoid the need for either a setback or the removal of the gates, for example by amending the design of the gates to provide some visual permeability, such options have yet to be explored.
- 8.24 In terms of the scheme as proposed, I am not convinced of the justification for a 5m setback, given the small number of vehicle movements likely to be generated. Moreover, it is clear that there is no formal provision for shared use of the footway in front of the access gates, nor would the proposed improvements seem likely to include shared use. I therefore

consider the risk to the safety of both cyclists and pedestrians to be small.

- 8.25 Whilst the optimum design would be one that satisfied both the Highways and the Conservation Officer, I am satisfied that the proposed access will not result in a material worsening of highway safety in the vicinity of the gates. In my opinion the proposal is compliant with respect to highway safety, with Cambridge Local Plan (2006) policy 8/2.

Impact on Protected Trees

- 8.26 The applicant originally proposed to remove two mature trees from within the site to create space for the access drive, a yew tree and a sycamore. In addition significant pruning of the Lime Tree located on the footway between the boundary wall fronting Chesterton Road and the bus shelter was proposed. The branches of this tree currently overhang the application site and would impede construction. Regular pruning would be necessary thereafter.
- 8.27 The Arboricultural Officer objected to the removal of the yew tree, and to the proposed pruning of the Lime. She also considered that, in relation to the sycamore there would be insufficient space within the site to secure a replacement tree through a standard re-panting condition.
- 8.28 Following further investigation of the issues raised, the applicants submitted a minor amendment to the scheme, which involves the removal of the canopy over the turntable. This has enabled the Yew Tree to be retained with only a very limited requirement for root pruning. In addition, an amended Arboricultural Impact Assessment has been submitted, which shows that the existing 5m clearance from ground level to the lowest overhanging branches is sufficient to dispense with the need for crown pruning. The Arboricultural Officer has indicated that the proposed revision and revised report overcome her original objections, although she remains concerned about the likelihood of demands for future pruning. In my view, there is merit in seeking to reduce the likelihood and extent of such demands by adding an informative to the permission indicating that the Council will not look favourably on requests for extensive pruning of these trees.

8.29 The only remaining issue is therefore whether, following the removal of the sycamore, provision should be made for replacement planting, as the tree officer has requested. The applicants have indicated that, if necessary, they would be willing to undertake replacement planting within the larger plot to which this application relates prior to implementing any approval, through an appropriate Grampian condition. However, I note that this tree already has felling consent, and in these circumstances, I do not consider such a condition to be justified.

8.30 In my opinion, notwithstanding the tree officer's comments, the revised proposal, retaining the yew tree, would not lead to an unacceptable impact on trees of amenity value. My view is that the proposal now complies, in respect of trees, with Cambridge Local Plan (2006) policies 3/4, 4/4 and 4/11.

Third Party Representations

8.31 The objections received from residents are principally concerned with aspects of the proposed design, and most are concerned with the proposed access. In my view, all planning matters raised have been addressed above.

Planning Obligations

8.32 The Community Infrastructure Levy Regulations 2010 have introduced the requirement for all local authorities to make an assessment of any planning obligation in relation to three tests. If the planning obligation does not pass the tests then it is unlawful. The tests are that the planning obligation must be:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

In bringing forward my recommendations in relation to the Planning Obligation for this development I have considered these requirements

The Planning Obligation Strategy (2010) provides a framework for expenditure of financial contributions collected through planning obligations. , Cambridgeshire and Peterborough Waste Partnership (RECAP): Waste Management Design Guide provides advice on the requirements for internal and external waste storage, collection and recycling in new residential and commercial developments. The applicants have indicated their willingness to enter into a S106 planning obligation in accordance with the requirements of the Strategy and relevant Supplementary Planning Documents. The proposed development triggers the requirement for the following community infrastructure:

Open Space

8.33 The Planning Obligation Strategy requires that all new residential developments contribute to the provision or improvement of public open space, either through provision on site as part of the development or through a financial contribution for use across the city. The proposed development requires a contribution to be made towards open space, comprising outdoor sports facilities, indoor sports facilities, informal open space and provision for children and teenagers. The total contribution sought has been calculated as follows.

8.34 The application proposes the construction of one two-bedroom house. A house or flat is assumed to accommodate one person for each bedroom. The totals required for the new buildings are calculated as follows:

Outdoor sports facilities					
Type of unit	Persons per unit	£ per person	£per unit	Number of such units	Total £
2 bed	2	238	476	1	476
Total					476

Indoor sports facilities					
Type of unit	Persons per unit	£ per person	£per unit	Number of such units	Total £
2 bed	2	269	538	1	538
Total					538

Informal open space					
Type of unit	Persons per unit	£ per person	£per unit	Number of such units	Total £
2 bed	2	242	484	1	484
Total					484

Provision for children and teenagers					
Type of unit	Persons per unit	£ per person	£per unit	Number of such units	Total £
1 bed	2	316	632	1	632
Total					632

8.35 Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010) and the Cambridge City Council Open Space Standards Guidance for Interpretation and Implementation (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/8 and 10/1 and the Planning Obligation Strategy 2010 and the Cambridge City Council Open Space Standards Guidance for Interpretation and Implementation (2010)

Community Development

8.36 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to community development facilities, programmes and projects. This contribution is £1256 for each unit of one or two bedrooms and £1882 for each larger unit. The total contribution sought has been calculated as follows:

Community facilities			
Type of unit	£per unit	Number of such units	Total £
2 bed	1256	1	1256
Total			1256

8.37 Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010), I am satisfied that the proposal accords with Cambridge

Local Plan (2006) policies 5/14 and 10/1 and the Planning Obligation Strategy 2010.

Waste

- 8.38 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the provision of household waste and recycling receptacles on a per dwelling basis. As the type of waste and recycling containers provided by the City Council for houses are different from those for flats, this contribution is £75 for each house and £150 for each flat. The total contribution sought has been calculated as follows:

Waste and recycling containers			
Type of unit	£per unit	Number of such units	Total £
House	75	2	75
Total			75

- 8.39 Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy (2010), I am satisfied that the proposal accords with Cambridge Local Plan (2006) policies 3/7, 3/12 and 10/1 and the Planning Obligation Strategy 2010.

Education

- 8.40 Upon adoption of the Planning Obligation Strategy (2010) the Council resolved that the Education section in the 2004 Planning Obligations Strategy continues to apply until it is replaced by a revised section that will form part of the Planning Obligations Strategy 2010. It forms an annex to the Planning Obligations Strategy (2010) and is a formal part of that document. Commuted payments are required towards education facilities where four or more additional residential units are created and where it has been established that there is insufficient capacity to meet demands for educational facilities.
- 8.41 In this case, one additional residential unit is created and the County Council have confirmed that there is insufficient capacity to meet demand for

pre-school education, primary education, secondary education, or lifelong learning. Contributions are therefore required on the following basis.

Pre-school education					
Type of unit	Persons per unit		£per unit	Number of such units	Total £
2+- beds	2		810	1	810
Total					810

Primary education					
Type of unit	Persons per unit		£per unit	Number of such units	Total £
2+- beds	2		1350	1	1350
Total					1350

Secondary education					
Type of unit	Persons per unit		£per unit	Number of such units	Total £
2+- beds	2		1520	1	1520
Total					1520

Life-long learning					
Type of unit	Persons per unit		£per unit	Number of such units	Total £
2+- beds	2		160		160
Total					160

8.42 Subject to the completion of a S106 planning obligation to secure the requirements of the Planning Obligation Strategy 2010, I am satisfied that the proposal accords with

Cambridgeshire and Peterborough Structure Plan (2003) policies P6/1 and P9/8, Cambridge Local Plan (2006) policies 5/14 and 10/1 and the Planning Obligation Strategy 2010.

Monitoring

- 8.43 The Planning Obligation Strategy (2010) requires that all new residential developments contribute to the costs of monitoring the implementation of planning obligations. The costs are calculated according to the heads of terms in the agreement. The contribution sought will be calculated as £150 per financial head of term and £300 per non-financial head of term. Contributions are therefore required on that basis.

Planning Obligations Conclusion

- 8.44 It is my view that the planning obligation is necessary, directly related to the development and fairly and reasonably in scale and kind to the development and therefore the Planning Obligation passes the tests set by the Community Infrastructure Levy Regulations 2010.

9.0 CONCLUSION

- 9.1 The National Planning Policy Framework provides a presumption in favour of sustainable development, subject to finding the proposal compliant with Cambridge Local Plan policies. The proposed development will contribute to meeting housing need and provides high quality accommodation, and from my assessment I do not consider that it will give rise to demonstrable harm in terms of traffic generation or impact on highway safety, or to any other adverse impact, including harm to residential amenity, protected trees, the setting of Listed Buildings, or the character and appearance of the Conservation Area.

- 9.2 Overall, I am satisfied that the scheme should be supported and recommend approval.

10.0 RECOMMENDATION

1. APPROVE subject to the satisfactory completion of the s106 agreement by 20th June 2014 and subject to the following conditions and reasons for approval:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans as listed on this decision notice.

Reason: In the interests of good planning, for the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.

3. Except with the prior written agreement of the local planning authority no construction work or demolition shall be carried out or plant operated other than between the following hours: 0800 hours to 1800 hours Monday to Friday, 0800 hours to 1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the adjoining properties. (Cambridge Local Plan 2006 policy 4/13)

4. Except with the prior agreement of the local planning authority in writing, there should be no collection or deliveries to the site during the demolition and construction stages outside the hours of 0700 hrs and 1900 hrs on Monday ' Saturday and there should be no collections or deliveries on Sundays or Bank and public holidays.

Reason: To protect the amenities of the adjoining properties (Cambridge Local Plan Policy4/13)

5. In the event of the foundations for the proposed development requiring piling, prior to the development taking place the applicant shall provide the local authority with a report / method statement for approval detailing the type of piling and mitigation measures to be taken to protect local residents noise and or vibration. Potential noise and vibration levels at the nearest noise sensitive locations shall be predicted in accordance with the provisions of BS 5228-1&2:2009 Code of Practices for noise and vibration control on construction and open sites. Development shall be carried out in accordance with the approved details.

Due to the proximity of this site to existing residential premises and other noise sensitive premises, impact pile driving is not recommended.

Reason: To protect the amenities of the adjoining properties (Cambridge Local Plan Policy4/13)

6. No unbound material shall be used in the surface finish of the driveway within 6 metres of the highway boundary of the site.

Reason: To avoid displacement of loose material onto the highway in the interests of highway safety

7. Notwithstanding the provision of Class A of Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development) Order 1995, (or any order revoking, amending or re-enacting that order) no gates shall be erected across the approved access unless details have first been submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of highway safety.

8. Prior to the commencement of the first use the vehicular access where it crosses the public highway shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification.

Reason: In the interests of highway safety and to ensure satisfactory access into the site.

9. The access shall be constructed with adequate drainage measures to prevent surface water run-off onto the adjacent public highway, in accordance with a scheme submitted to and approved in writing by the Local Planning Authority, in consultation with the Highway Authority.

Reason: To prevent surface water discharging to the highway.

10. The access and manoeuvring area shall be provided as shown on the drawings and retained free of obstruction.

Reason: In the interests of highway safety (Cambridge Local Plan 2006 policy 8/2).

11. No development shall take place until samples of the materials to be used in the construction of the external surfaces of the development hereby permitted have been submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure that the appearance of the external surfaces is appropriate. (Cambridge Local Plan 2006 policies 3/4, 3/12 and 3/14)

12. Prior to the commencement of fitting of railings/gates to walls, the means of fixing the railings/gates to or into the walling, piers, copings or other elements shall be submitted to and approved in writing by the local planning authority. Where a traditional design is proposed, railings should normally be lead 'caulked' into sockets in stone or other copings. The development shall be carried out in accordance with the approved details.

Reason: To avoid harm to the special interest of the listed building (Cambridge Local Plan 2006, policy 4/10)

13. Full details of all wall copings, piers and pier capstones including type, design [cross-sectional drawings may be appropriate], fixings and materials, to be submitted to and approved in writing by the LPA. The development shall be carried out in accordance with the approved details.

Reason: To avoid harm to the special interest of the listed building (Cambridge Local Plan 2006, policy 4/10)

14. Full details of any new planted or "green" roofs, associated roof drainage systems and fascia treatment to roof edges to be submitted to and approved in writing by the LPA. The development shall be carried out in accordance with the approved details.

Reason: To avoid harm to the special interest of the listed building (Cambridge Local Plan 2006, policy 4/10)

15. No rooflights shall be installed until full details of rooflights have been submitted to and approved in writing by the local planning authority. Rooflights which stand proud of the plane of the roof are unlikely to be approved. Rooflights shall thereafter be installed only in accordance with the approved details.

Reason: To avoid harm to the special interest of the listed building (Cambridge Local Plan 2006, policy 4/10)

16. Full details of the vehicular turntable to be submitted to and approved in writing by the local planning authority. The turntable shall thereafter be installed only in accordance with the approved details and shall be maintained & operated in full working order in perpetuity.

Reason: To avoid harm to the special interest of the listed building, and to avoid a threat to highway safety (Cambridge Local Plan 2006, policies 4/10 and 8/2))

17. Full details of all power-operated gate opening / closing mechanisms including activation switches, opening / closing motors, signage, power control equipment & housings, etc. to be submitted to and approved in writing by the LPA. The development shall be carried out in accordance with the approved details.

Reason: To avoid harm to the special interest of the listed building (Cambridge Local Plan 2006, policy 4/10)

18. Full details of all external joinery including vehicular & pedestrian gates, doors, screens and window frames to be submitted to and approved in writing by the LPA. The development shall be carried out in accordance with the approved details.

Reason: To avoid harm to the special interest of the listed building (Cambridge Local Plan 2006, policy 4/10)

INFORMATIVE: The applicant is advised that condition 7 above relates also to repairs to existing walls, any decorative or pierced brickwork and to extensions in height to existing walls.

INFORMATIVE: The applicant is advised that his development involves work to the public highway that will require the approval of the County Council as Highway Authority. It is an OFFENCE to carry out any works within the public highway, which includes a public right of way, without the permission of the Highway Authority. Please note that it is the applicant's responsibility to ensure that, in addition to planning permission, any necessary consents or approvals under the Highways Act 1980 and the New Roads and Street Works Act 1991 are also obtained from the County Council.

No part of any structure may overhang or encroach under or upon the public highway unless licensed by the Highway Authority and no gate / door / ground floor window shall open outwards over the public highway.

Public Utility apparatus may be affected by this proposal. Contact the appropriate utility service to reach agreement on any necessary alterations, the cost of which must be borne by the applicant.

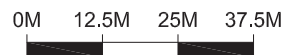
INFORMATIVE: The applicant is advised that given the amenity value of trees on and adjacent to the site, and the known likely impacts of the existing trees on future occupiers of the development, the Council will not look favourably on requests for subsequent pruning of these trees, and will require very robust justification to accompany any such requests. This should be made known to any prospective purchasers, tenants, or occupiers of the proposed new dwelling.

2. Unless prior agreement has been obtained from the Head of Planning, in consultation with the Chair and

Spokesperson of this Committee to extend the period for completion of the Planning Obligation required in connection with this development, if the Obligation has not been completed by 20th June 2014, or if Committee determine that the application be refused against officer recommendation of approval, it is recommended that the application be refused for the following reason(s):

The proposed development does not make appropriate provision for public open space, community development facilities, education and life-long learning facilities, waste facilities or monitoring in accordance with Cambridge Local Plan 2006 policies 3/7, 3/8, 3/12, 5/5, and 10/1, and as detailed in the Planning Obligation Strategy 2010.

3. In the event that the application is refused, and an Appeal is lodged against the decision to refuse this application, delegated authority is sought to allow officers to negotiate and complete the Planning Obligation required in connection with this development



PLANNING

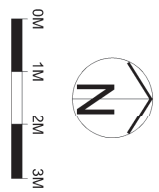
drawing title Location Plan		FREELAND REES ROBERTS ARCHITECTS 25 City Road, Cambridge CB1 1DP tel 01223 366555 fax 01223 312882 info@frarchitects.co.uk				
client Derek and Lorna Dazeley	job title Chesterton House New House	scale 1:1250@A4	drawn Page 89	date Oct 13	sheet/layout number 13036-SP-100	rev -

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Ground Floor Plan
Proposed
1:100

- NOTE
1. DRAWINGS MUST NOT BE SCALED. WORK ONLY TO NOTED DIMENSIONS.
 2. WORK ONLY TO DIMENSIONS BEFORE ORDERING MATERIALS OR PUTTING WORK IN HAND.
 3. SHOP DRAWINGS OF MANUFACTURED ITEMS MUST BE APPROVED BY THE ARCHITECTS BEFORE WORK IS PUT IN HAND.
 4. DIMENSIONS MUST BE VERIFIED ON SITE BEFORE PREPARATION OF SHOP DRAWINGS.
 5. THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
 6. IF IN DOUBT ASK!



- Revisions
- | | | |
|---|----------|---|
| B | 20140224 | Additional bin storage added |
| A | 20140224 | Tree retained, canopy to turntable removed, turntable relocated |

PLANNING

FREELAND REES ROBERTS
ARCHITECTS
28 City Road, Cambridge CB1 1DP
tel 01223 366555 fax 01223 312882
info@frreelands.co.uk

Client
Derek and Lorna Dazeley

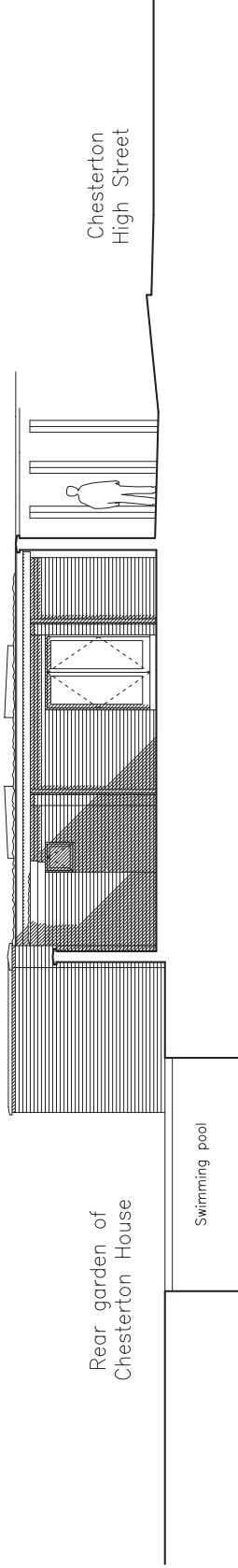
Job title
**Chesterton House
New House**

Drawing title
**Ground Floor Plan
Proposed**

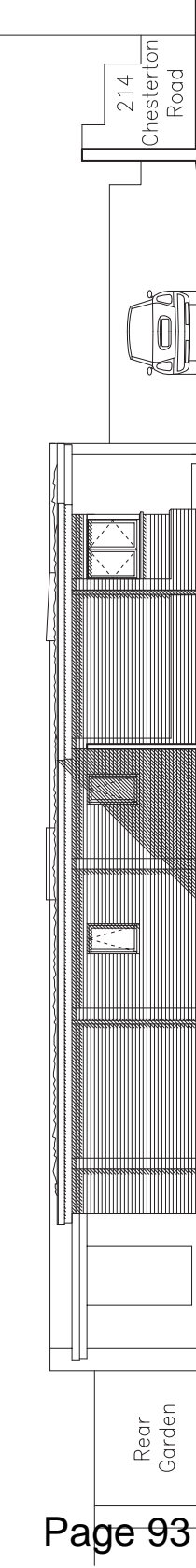
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Sheet / layout number	Rev	
13036-SP-102	B	

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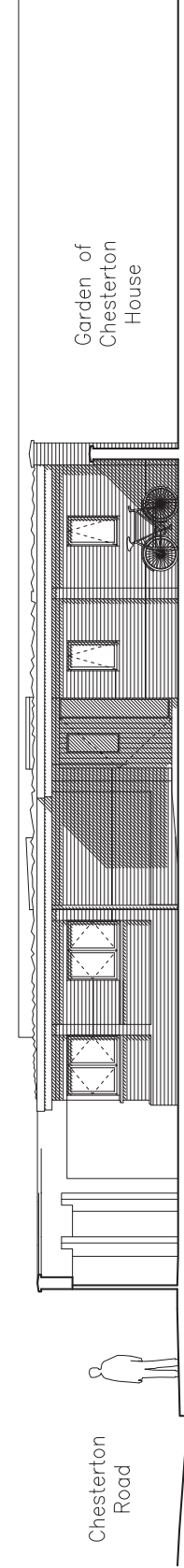
North East Elevation
Proposed
1:100



North West Elevation
Proposed
1:100



South West Elevation
Proposed
1:100



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MATERIALS

Projecting painted timber box gutter with zinc flashing to top.

Buff brick walls with piers and plinth in same brick.

Painted aluminium rainwater downpipes.

Painted timber windows and doors.

Projecting stone cills below kitchen windows only.

A. 20140225 Canopy over turntable removed.
revisions

PLANNING

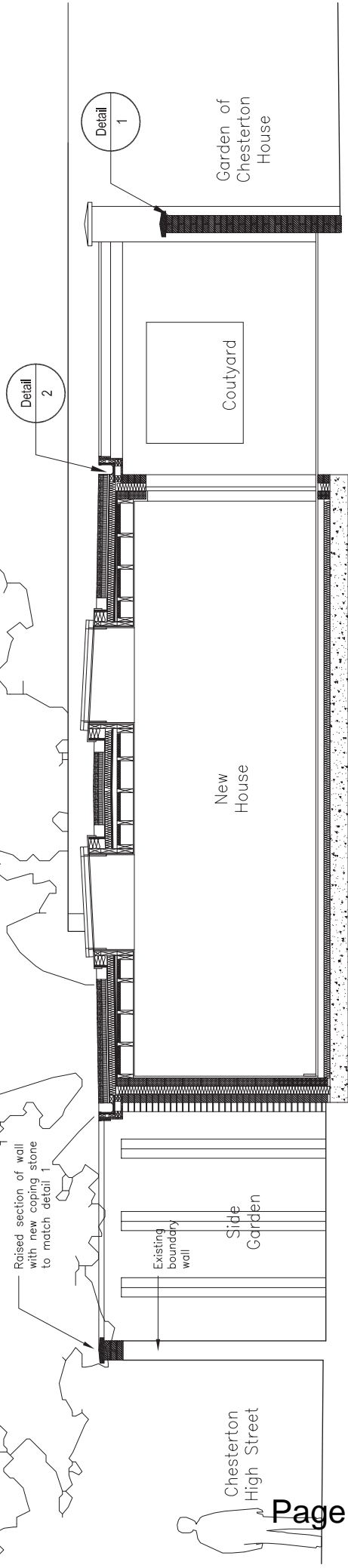
FRELAND REES ROBERTS ARCHITECTS
25 City Road, Cambridge CB1 1DP
tel 01223 366555 fax 01223 312882
info@frarchitects.co.uk

client Derek and Lorna Dazeley	
job title Chesterton House New House	date Oct 13
drawing title House Elevations Proposed	
scale 1:100 @A3	drawn by AJ
sheet / layout number 13036-SE-204	rev A

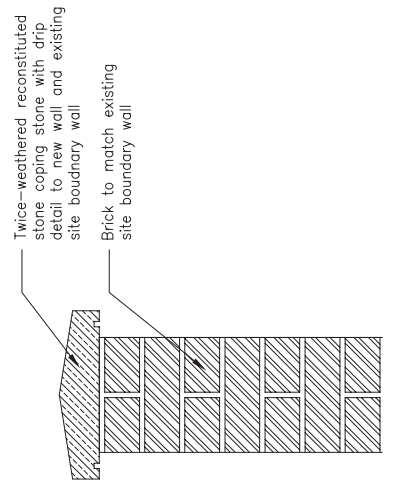
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Section BB
Detailed
1:50

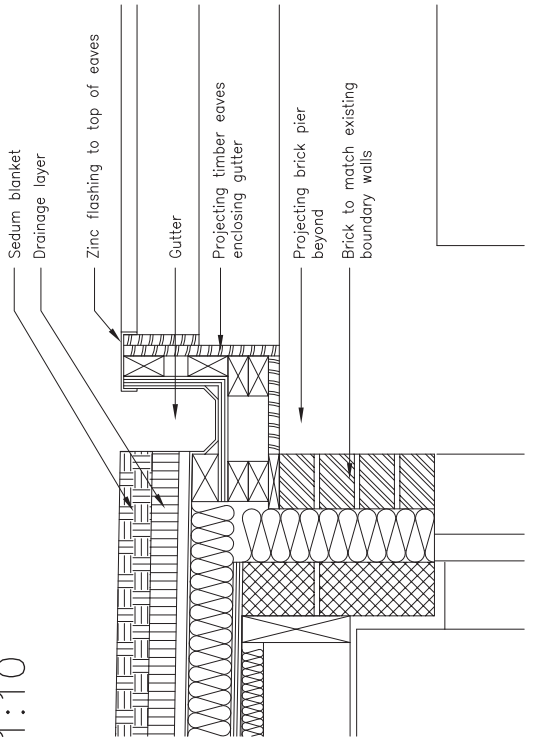
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Detail 1
1:10



Detail 2
1:10



revisions

PLANNING

FREELAND REES ROBERTS ARCHITECTS
25 City Road, Cambridge CB1 1DP
tel 01223 366555 fax 01223 312882
info@frrearchitects.co.uk

client	Derek and Lorna Dazeley		
job title	Chesterton House New House		
drawing title	Section BB Detailed		
scale	drawn by	date	
1:50/10@A3	AJ	Nov 13	
sheet / layout number			rev
13036-SS-303			-

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LEGEND	
	Existing Tree/Hedge BS 5837:2012 Category B
	Existing Tree/Hedge to be crown lifted to allow for development - BS Cat B
	Existing Tree/Hedge BS 5837:2012 Category C
	Existing Tree/Hedge to be crown lifted to allow for development - BS Cat C
	Line of Root Protection Area (RPA) - calculated following guidelines set in BS 5837:2012
	Existing Tree/Hedge to be removed to allow for development - BS 5837:2012, Category C
	Section of existing wall to be carefully removed
	Line of proposed temporary protective barrier (see appendix F.3)
	Ball Stakes - Tree Protection System
	Line of proposed Root Pruning
	Proposed development which is proposed to be constructed following the 'No Dig' Specification
	Proposed brick on edge cement of original wall to be constructed in conjunction with root pruning
	New wall to be founded on Pad and Lintel design. To be constructed in conjunction with root pruning
	Area of Specialist Foundations (to be designed by engineer)

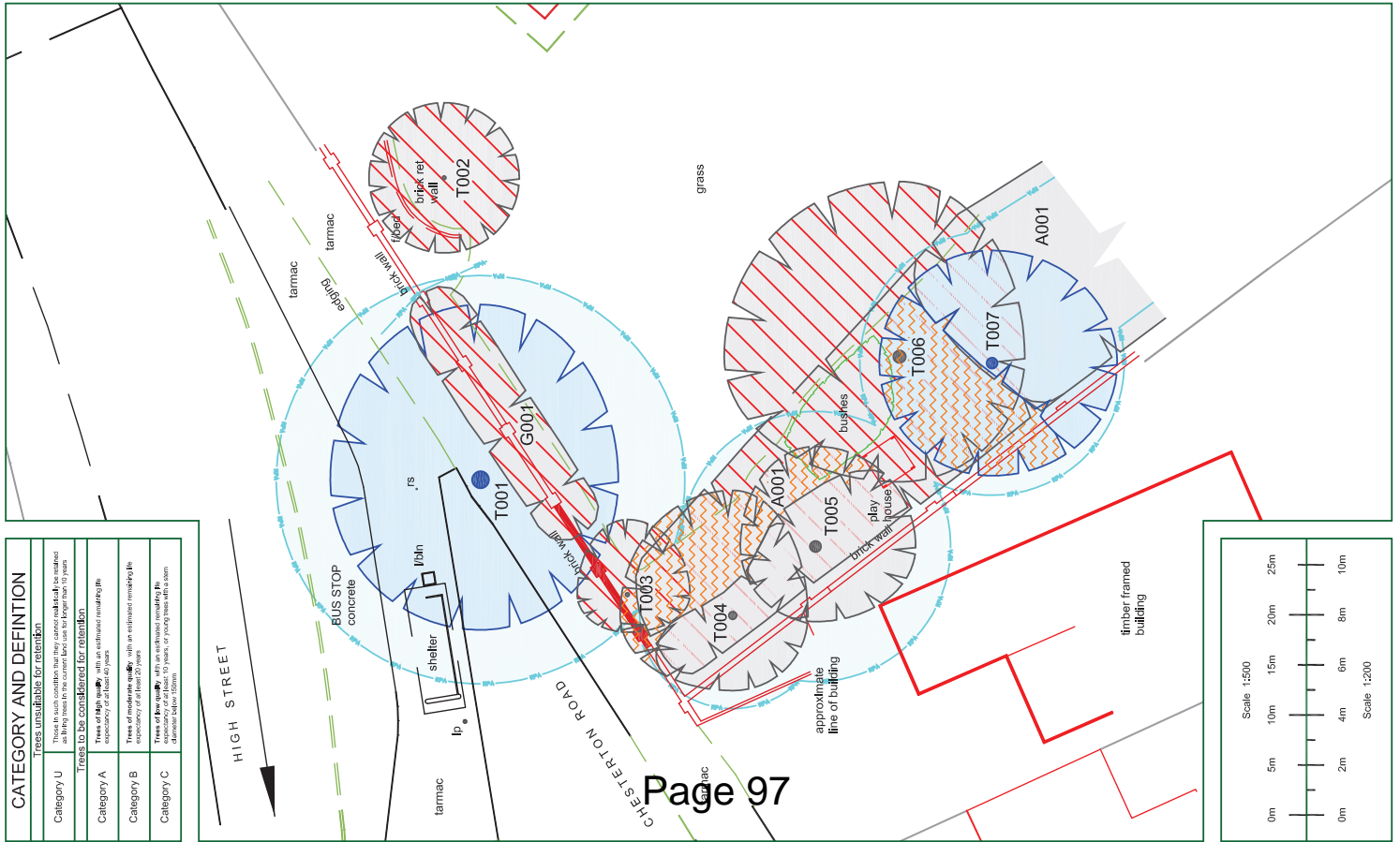
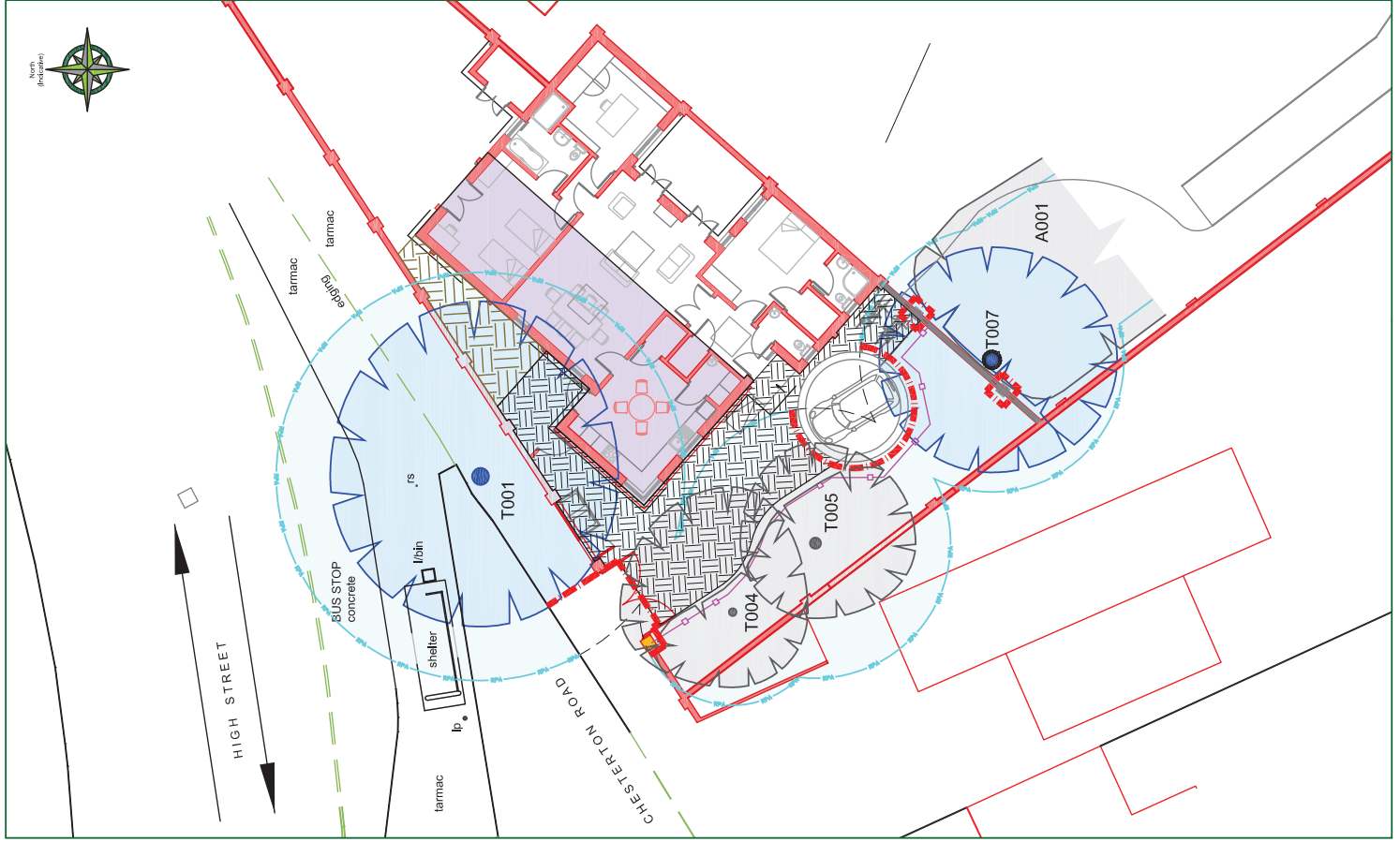
4. 18/03/14 (F1) Updated to be based on Finalised River Roberts American Ground Floor Plan Proposed Drawing: 18/03/14
 4. 18/12/13 (F1) Based on initial Survey by Topographical Survey Drones: 18/09/11
 4. 18/03/14 (F1) Based on initial Survey by Topographical Survey Drones: 18/09/11
 4. 18/03/14 (F1) Based on initial Survey by Topographical Survey Drones: 18/09/11

The position, condition, and dimensions of the trees are based on a site survey undertaken on 30/10/13
 "The original of this drawing was produced in colour - a monochrome copy should not be relied upon"

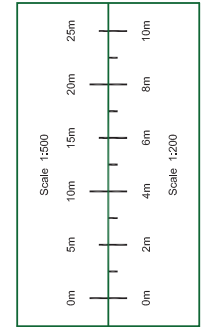


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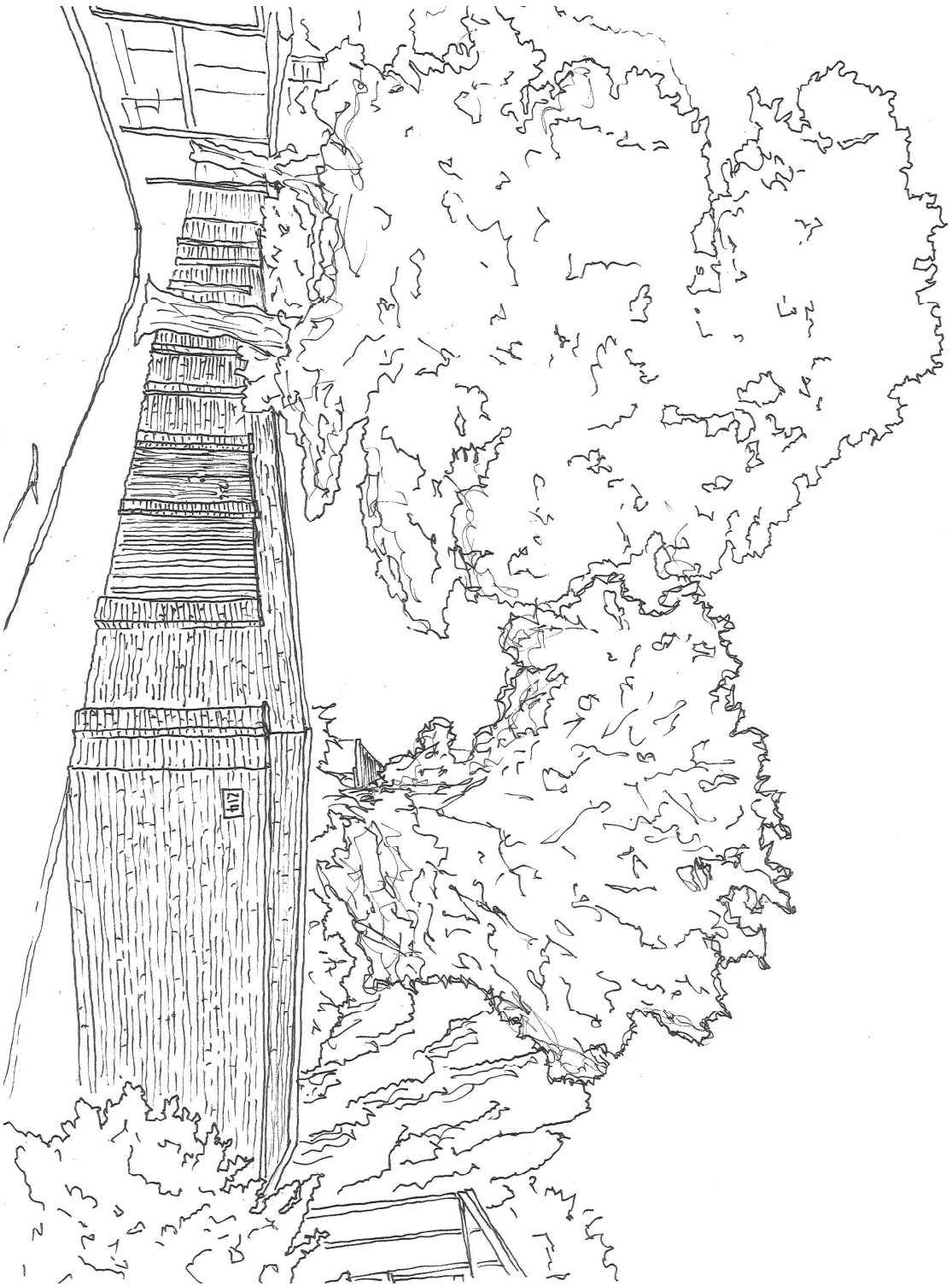
PROJECT:	Januarys	TS & AIA
DATE:	Chesterton House, Church Street/High Street, Chesterton	
CLIENT:	KFJ	Client: Pro3832-D - Chesterton House - TS & AIA.dwg
SCALE:	1:200 (A3)	DMC 3832-D A



CATEGORY AND DEFINITION	
Trees unsuitable for retention	
Category U	Trees in such condition that they cannot reliably be retained as living trees in the current land use for longer than 10 years
Trees to be considered for retention	
Category A	Trees of high quality with an estimated remaining life expectancy of at least 20 years
Category B	Trees of moderate quality with an estimated remaining life expectancy of at least 10 years
Category C	Trees of low quality with an estimated remaining life expectancy of at least 5 years, or young trees with a stem diameter below 100mm



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A 20140303 View tree retained
 revisions

PLANNING

FRELAND REES ROBERTS
 ARCHITECTS
 23 City Road, Cambridge CB1 1DP
 tel 01223 366555 fax 01223 312882
 info@frrears.co.uk

client
 Derek and Lorna Dazeley

job title
 Chesterton House
 New House

drawing title
 View of boundary wall from
 end of Chesterton Road

scale
 NTS @A3 AU

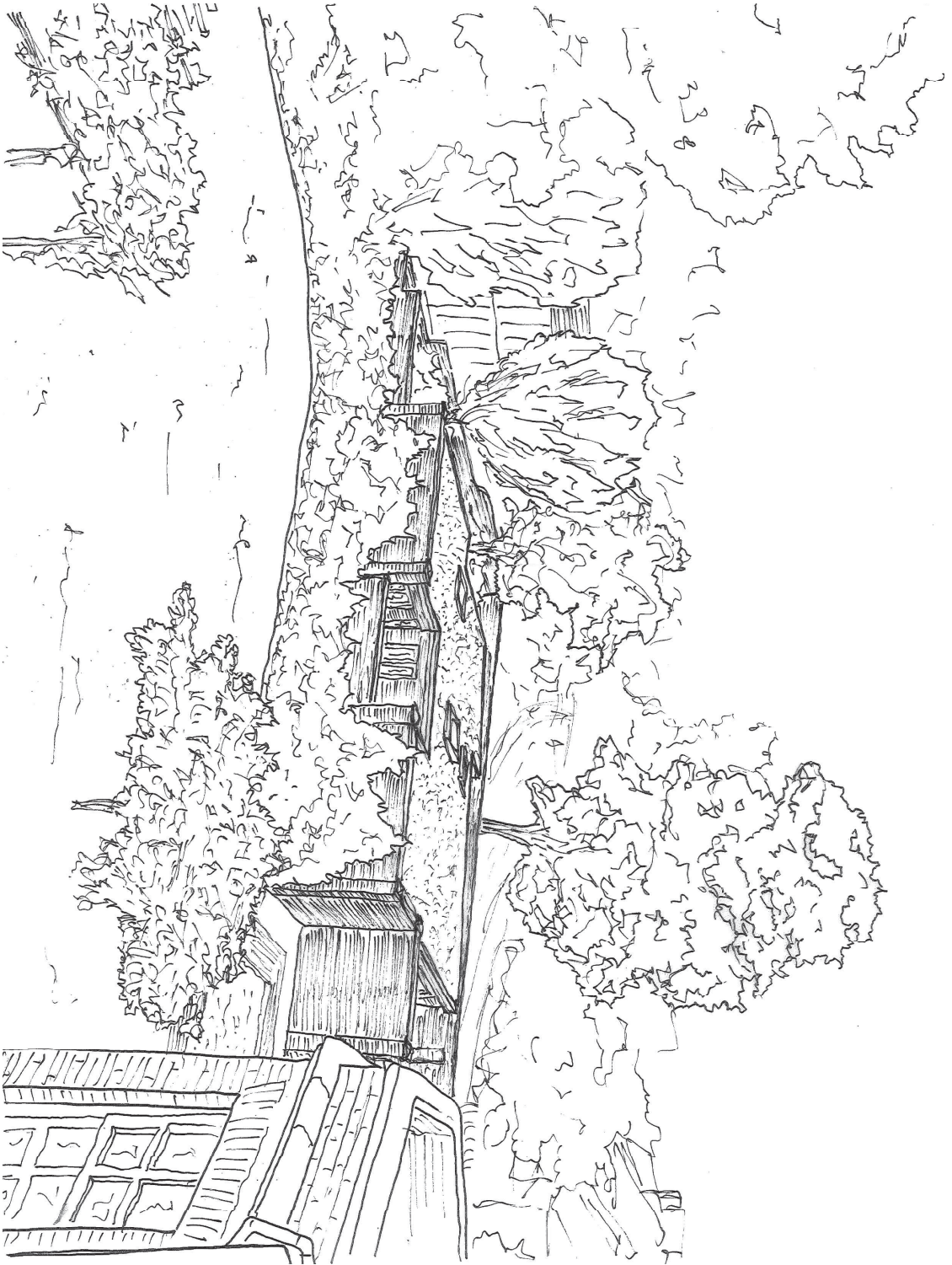
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A 20140303 Yew tree retained. Canopy to be removed.

PLANNING

FRELAND REES ROBERTS
ARCHITECTS

25 City Road, Cambridge CB1 1DP
Tel 01223 366555 fax 01223 312882
info@fraroberts.co.uk

client
Derek and Lorna Dazeley

job title
Chesterton House
New House

drawing title
View of new house from 3rd floor
of Chesterton House

scale
NTS @A3 AU Dec 13

sheet / layout number
13036-SZ-410 rev A

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Agenda Item 7

NORTH AREA COMMITTEE

20th March 2014

Application Number	13/1860/FUL	Agenda Item	
Date Received	31st December 2013	Officer	Miss Catherine Linford
Target Date	25th February 2014		
Ward	Kings Hedges		
Site	Recreation Ground Nuns Way Cambridge Cambridgeshire		
Proposal	The partial removal of an existing, natural gravel BMX track, with plastic ramps atop. Construction of a new reinforced concrete skatepark and new, natural gravel BMX track with associated landscaping. Change of use: There is no change of use for the BMX track. The new skatepark with remain within the similar area of activity.		
Applicant	Mr John Flood Osbourne House 14 Elton Road Canvas Spaces Clevedon Avon BS21 7RG United Kingdom		

SUMMARY	<p>The development accords with the Development Plan for the following reasons:</p> <ol style="list-style-type: none">1. The proposals constitute an improvement to the facilities already available on the recreation ground;2. The proposals would not lead to a loss of open space;3. The proposed facilities would not have a detrimental visual impact; and4. As long as the facilities are not lit, the proposals would not have a significant detrimental impact on residential amenity.
RECOMMENDATION	APPROVAL

1.0 SITE DESCRIPTION/AREA CONTEXT

1.1 The Nuns Way Recreation Ground is surrounded by residential properties on the northwestern, southwestern, and southeastern sides, with an industrial estate bounding the site on the northeastern side. The application site is the site of the existing BMX track, which is situated on the eastern side of the recreation ground. The closest residential properties are 80m away, on Blackberry Way. The site is classified as Protected Open Space in the Cambridge Local Plan (2006)

2.0 THE PROPOSAL

2.1 Full planning permission is sought to replace the existing BMX track with a new reinforced concrete skate park and new natural gravel BMX track, with associated landscaping.

3.0 SITE HISTORY

Reference	Description	Outcome
C/67/0002	Provision of Public Open Space	A/C
C/70/0321	Use of land as Childrens adventure playground	A/C
C/73/0790	Erection of Scout hut and provisioning of Outdoor activity area and car park facilities	A/C
C/96/0356	Portasilo extension unit to existing Sports Pavilion. (Application under Regulation 3 of the Town and Country Planning (General Regulations) 1992).	A/C
C/97/1068	Proposed erection of basketball court and associated floodlight columns (510sqm).	A/C
C/99/0339	Erection of temporary single storey portacabin type building for a period of three years to replace existing building (Regulation 3 application).	A/C
C/02/0006	Erection of new single storey changing/community pavilion together with external works and large play tower.	A/C

4.0 PUBLICITY

4.1 Advertisement:	Yes
Adjoining Owners:	Yes
Site Notice Displayed:	Yes

5.0 POLICY

5.1 See Appendix 1 for full details of Central Government Guidance, Cambridge Local Plan 2006 policies, Supplementary Planning Documents and Material Considerations.

5.2 Relevant Development Plan policies

PLAN	POLICY NUMBER
Cambridge Local Plan 2006	3/1 3/7 3/11 4/2 4/4 6/2

5.3 Relevant Central Government Guidance, Supplementary Planning Documents and Material Considerations

Central Government Guidance	National Planning Policy Framework March 2012 Circular 11/95
Material Considerations	<u>Central Government:</u> Letter from Secretary of State for Communities and Local Government (27 May 2010) Written Ministerial Statement: Planning for Growth (23 March 2011) National Planning Practice Consultation

5.4 Status of Proposed Submission – Cambridge Local Plan

Planning applications should be determined in accordance with policies in the adopted Development Plan and advice set out in the NPPF. However, after consideration of adopted plans and the NPPF, policies in emerging plans can also be given some weight when determining applications. For Cambridge, therefore, the emerging revised Local Plan as published for consultation on 19 July 2013 can be taken into account, especially those policies where there are no or limited objections to it. However it is likely, in the vast majority of instances, that the adopted development plan and the NPPF will have considerably more weight than emerging policies in the revised Local Plan.

For the application considered in this report, there are no policies in the emerging Local Plan are of relevance.

6.0 CONSULTATIONS

Cambridgeshire County Council (Highways Development Management)

6.1 No comment.

Head of Refuse and Environment

6.2 No objection. It is recommended that the facilities are not lit. A condition is recommended restricting contractor working hours.

Head of Streets and Open Spaces (Landscape Team)

6.3 No objection. A condition is recommended requiring details of tree protection.

6.4 The above responses are a summary of the comments that have been received. Full details of the consultation responses can be inspected on the application file.

7.0 REPRESENTATIONS

7.1 No representations have been received

8.0 ASSESSMENT

8.1 From the consultation responses and representations received and from my inspection of the site and the surroundings, I consider that the main issues are:

1. Principle of development
2. Context of site, design and external spaces
3. Residential amenity

Principle of Development

8.2 Policy 6/2 of the Cambridge Local Plan (2006) states that 'development for the provision or improvement of a leisure facility will be permitted if it improves the range, quality and accessibility of facilities; it is of an appropriate scale for the locality; and it would not have a negative impact upon the vitality and viability of the City Centre, including the evening economy'. The proposals constitute an improvement to the facilities already available on the recreation ground, and would have no impact on the City Centre. It is therefore my opinion that the proposals comply with parts a) and c) of policy 6/2 of the Local Plan. Part b) of policy 6/2 will be discussed later on in the report.

8.3 In my opinion, the principle of the development is acceptable and in accordance with parts a) and c) of policy 6/2 of the Cambridge Local Plan (2006).

Context of site, design and external spaces

8.4 The recreation ground is classified as Protected Open Space in the Cambridge Local Plan (2006). Policy 4/2 of the Local Plan states that 'development will not be permitted which would be harmful to the character of, or lead to the loss of, open space of environmental and/or recreational importance unless the open space uses can be satisfactorily replaced elsewhere and the site is not important for environmental reasons. The explanatory text for this policy goes on to explain that 'only proposals which respect the character of these areas, and improve amenity, enhance biodiversity, improve sports facilities or increase public access will be supported.'

- 8.5 The proposed BMX track and skate park would cover an area not dissimilar to the area covered by the existing BMX track, in the same location. Therefore, it is my opinion that the proposals would not lead to a loss of open space. The proposed facilities would not be visible from outside the recreation ground and it is my opinion that they are of an appropriate scale for the locality; they would respect the character of the area; and they would not have a detrimental visual impact.
- 8.6 The Landscape Team have raised no concerns, but as the site is close to trees, they have recommended a condition requiring details of tree protection measures.
- 8.7 In my opinion the proposal is compliant with Cambridge Local Plan (2006) policies 3/4, 3/7, 3/11, and 4/4.

Residential Amenity

- 8.8 The application site is at a considerable distance from residential properties and it is my view that it unlikely that the proposals would have a significant detrimental impact on neighbouring properties. However, if the facilities were lit and in use at night there is the potential for residential amenity to be harmed. It is not proposed that the facilities are lit, and I recommend a condition preventing this without permission. I also recommend conditions restricting contractor working hours and delivery hours to minimise disturbance to neighbours.
- 8.9 In my opinion the proposal adequately respects the residential amenity of its neighbours and the constraints of the site and I consider that it is compliant with and Cambridge Local Plan (2006) policies 3/4 and 3/7.

9.0 CONCLUSION

- 9.1 The proposals are considered to be acceptable and approval is thus recommended.

10.0 RECOMMENDATION

APPROVE subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of section 51 of the Planning and Compulsory Purchase Act 2004.

2. Except with the prior written agreement of the local planning authority no construction work or demolition shall be carried out or plant operated other than between the following hours: 0800 hours to 1800 hours Monday to Friday, 0800 hours to 1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the adjoining properties. (Cambridge Local Plan 2006 policy 4/13)

3. Except with the prior written agreement of the local planning authority, there should be no collection or deliveries to the site during the demolition and construction stages outside the hours of 0700 hrs and 1900 hrs on Monday - Saturday and there should be no collections or deliveries on Sundays or Bank and public holidays.

Reason: Due to the proximity of residential properties to this premises and that extensive refurbishment will be required, the above conditions are recommended to protect the amenity of these residential properties throughout the redevelopment in accordance with policies 4/13 and 6/10 of the Cambridge Local Plan (2006)

4. No lighting shall be erected in relation to the facilities hereby approved without the express consent of the Local Planning Authority.

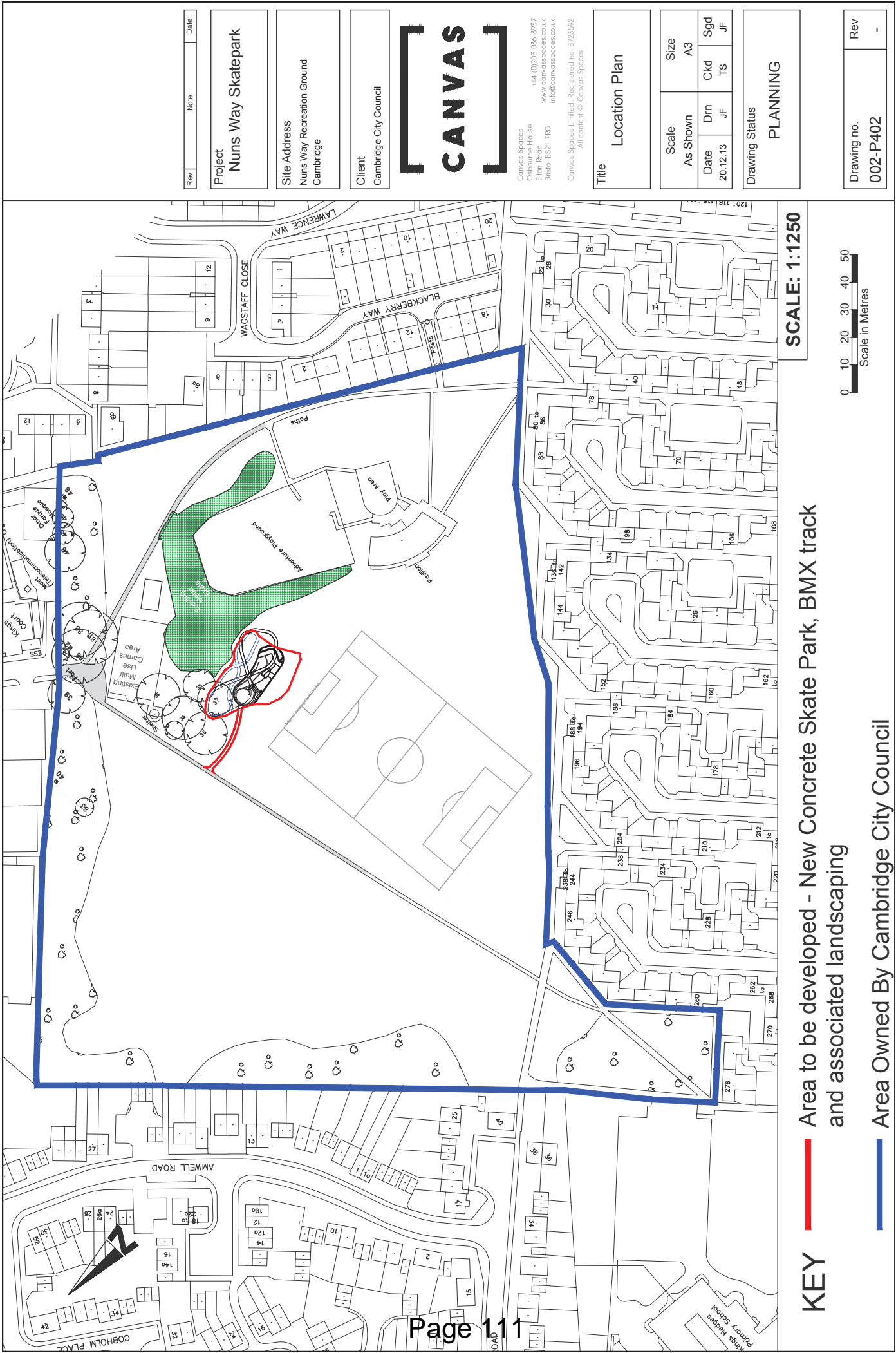
Reason: To protect residential amenity. (Cambridge Local Plan 2006, policy 3/7)

5. Details of the specification and position of fencing, or any other measures to be taken for the protection of any trees from damage during the course of development, shall be submitted to the local planning authority for its written approval, and implemented in accordance with that approval before any equipment, machinery or materials are brought onto the site for the purpose of development (including demolition). The agreed means of protection shall be retained on site until all equipment, and surplus materials have been removed from the site. Nothing shall be stored or placed in any area protected in accordance with this condition, and the ground levels within those areas shall not be altered nor shall any excavation be made without the prior written approval of the local planning authority.

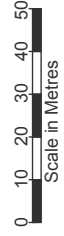
Reason: To protect the visual amenity of the area and to ensure the retention of the trees on the site. (Cambridge Local Plan 2006 policies 3/4, 3/11, 3/12 and 4/4)

6. The development hereby permitted shall be carried out in accordance with the approved plans as listed on this decision notice.

Reason: In the interests of good planning, for the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.



SCALE: 1:1250



- KEY**
- Area to be developed - New Concrete Skate Park, BMX track and associated landscaping
 - Area Owned By Cambridge City Council

Rev	Note	Date
Project Nuns Way Skatepark		
Site Address Nuns Way Recreation Ground Cambridge		
Client Cambridge City Council		
CANVAS		
Canvas Spaces Canvas House Elton Road Birtal BS21 7RG +44 (0)203 086 8937 www.canvaspaces.co.uk info@canvaspaces.co.uk Canvas Spaces Limited, Registered no. 9723592 All content © Canvas Spaces		
Title Location Plan		
Scale As Shown	Size A3	Sgd JF
Date 20.12.13	Drn JF	TS JF
Drawing Status PLANNING		
Drawing no. 002-P402		Rev -

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Notes

Rev	Note	Date

Project
Nuns Way Skatepark

Site Address
Nuns Way Recreation Ground
Cambridge

Client
Cambridge City Council



Canvas Spaces
Cambridge Office
Elton Road
Briard 8521 785
+44 (0)203 086 8937
www.canvaspaces.co.uk
info@canvaspaces.co.uk

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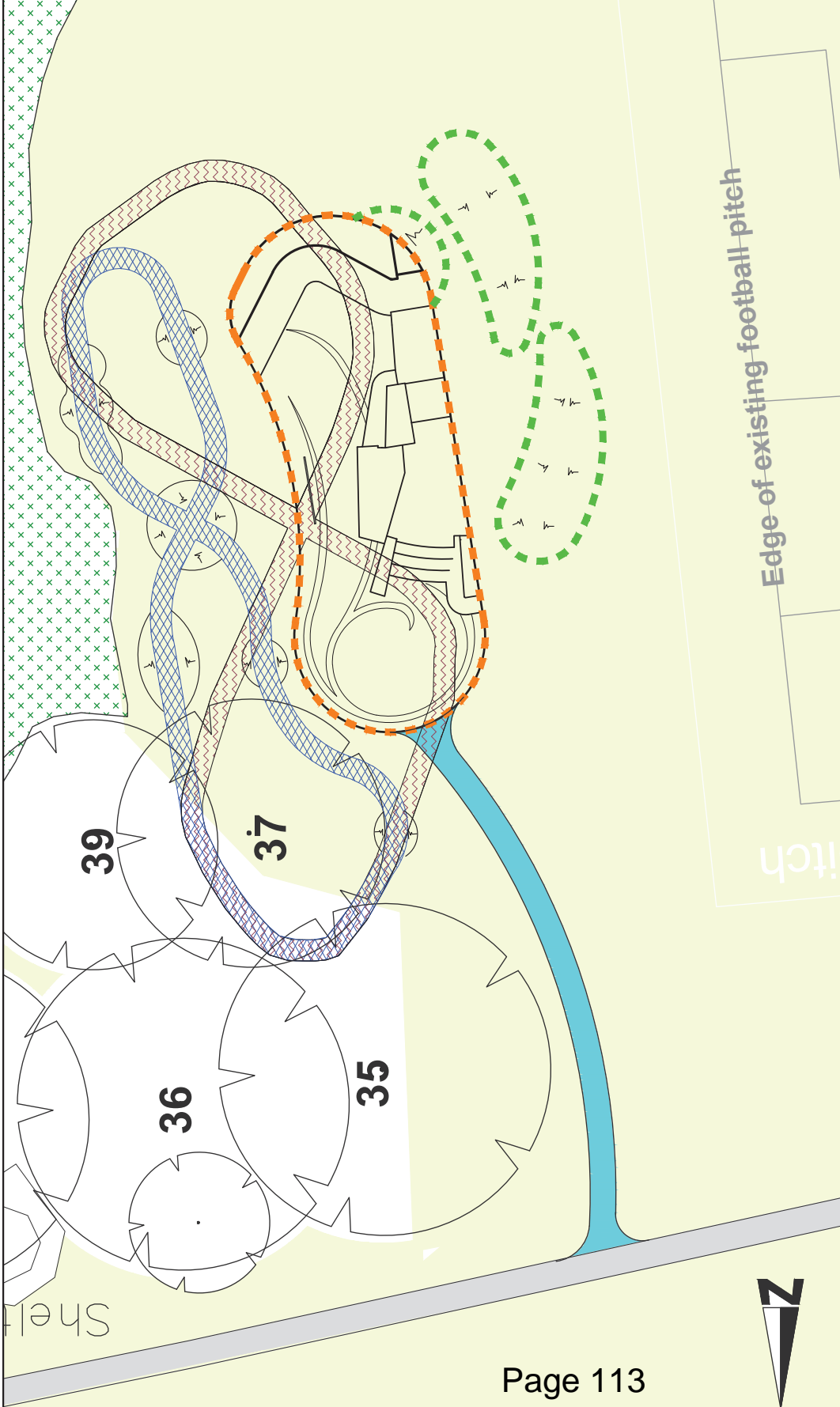
Title
Site Plan

Scale	Size
As Shown	A3

Date	Drn	Ckd	Sgd
20.12.13	JF	TS	JF

Drawing Status
PLANNING

Drawing no.	Rev
002-P403	-



SCALE: 1:200

- Existing Tarmac Path
- Existing Grassed Area
- Position of Existing Natural Gravel BMX Track Which is to be Removed
- Dense Trees/Vegetation

- Position of New Concrete Skate Park
- Position of New Grass Mounding
- Position of New Tarmac Path
- Position of New Natural Gravel BMX Track
- Existing Tree (With Ref No.)



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